

**Notice and Agenda**  
Hartford City Plan Commission  
Special Meeting

Date: October 10, 2016

Time: 5:30 p.m.

Common Council Chambers  
Lower Level City Hall - 109 North Main Street

*Please note 5:30 p.m. starting time*

1. Call to Order
2. Minutes of September 12, 2016 (pp. 1 – 6)
3. Appearances
4. Public Hearing for a Conditional Use Permit, 220 Union Street (pp. 7 – 14)
  - a. Opening of Hearing
  - b. Reading of Public Notice
  - c. Staff Review: Conditional Use Permit, 220 Union Street
  - d. Appearances in Favor
  - e. Appearances in Opposition
  - f. Closing of Hearing
  - g. Discussion by Plan Commission
  - h. Official Action Regarding the Conditional Use Permit, 220 Union Street
5. Site Plan Review, Grand Avenue Dental Care, 1163 Grand Avenue (pp. 15 – 27)
6. Review of the Certified Survey Map for Lots 1 & 2 of a Parcel Located in the Southeast Quarter of Section 18 at the Current Terminus of Liberty Avenue (pp. 28 – 36)
7. Adjournment

Color Renderings:  
Grand Avenue Dental Care

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“Persons with disabilities requiring special accommodations for attendance at the meeting should contact City Clerk at least one (1) business day prior to the meeting.”

“Members of the Common Council may attend the above meeting. Pursuant to State ex. rel. Badke v. Greendale Village Board, 173 Wis.2d 553, 494 N W 2d 408 (1993) such attendance may be considered a meeting of the Common Council. This notice is given so that members of the Common Council may attend the meeting without violating the open meeting law.”

**PLAN COMMISSION**  
**City of Hartford**  
**September 12, 2016**

PRESENT: Chairperson Michalak, Members Stapleton, Regan, Henke, Alderperson Liaison Jewell

ABSENT: Member Kuepper

ALSO PRESENT: City Planner Justin Drew

**Call to Order** – Chairperson Michalak called the meeting to order at 5:30 p.m. in the Common Council Chambers of Hartford City Hall, 109 N. Main Street.

**Minutes** – Motion by Regan, second by Anderek approving the minutes of August 8, 2016. Motion carried.

**Appearances** – There were no appearances.

**Sign Review: Carpenter Technology, 71 N. Main Street**

*Executive Summary Review:*

David Carpenter submitted an application for a wall sign for his business, Carpenter Technology, at 71 N. Main Street. There are two businesses at the front of this building. Lotus Be Well, the north storefront, received an approval for wall and window signage in 2015. Carpenter Technology occupies the south storefront and proposes a 20' x 3' wall sign above the business windows. Currently there is no wall sign for the south storefront. The proposed sign covers the entire signable area for this storefront. Taken together, the Lotus Be Well sign and the Carpenter Technology sign are within the maximum allowed square footage for the B-3 district. The sign is black and white. The largest portion of the sign is black on white, and includes the name of the company and a telephone logo. On either side of this is white on black informational lettering, including a phone number. The sign is comprised of durabond with a polyurethane finish, designed to be lightweight and durable. No illumination is planned. Planning Staff recommended approval of the sign.

*Plan Commission Discussion, Carpenter Technology Sign:*

Mr. Drew reviewed the executive summary. Chairperson Michalak requested discussion. There was no discussion. Alderperson Liaison Jewell noted that he would be recusing himself; he is the contractor for the sign. Motion by Henke, second by Stapleton approving the Carpenter Technology sign. Motion carried.

**Public Hearing for Proposed Creation of TID #10, Proposed Boundaries, and Proposed Project Plan**

Chairperson Michalak opened the hearing and requested reading of the Public Notice. Mr. Drew read the notice and proceeded to the staff review, introducing Vandewalle & Associates representatives Jolena Presti and Jorian Giorno. Mr. Drew reviewed the procedure for the review and approval of a Tax Increment District, noting Joint Review Board, Plan Commission and

Common Council duties and responsibilities, as well as the timeline for meetings for each: Joint Review Board (composed of representatives of all taxing bodies and a citizen representative) meets first to review preliminary documents; a Plan Commission Public Hearing is then held; the Common Council approves the TID and related documents; the Joint Review Board has final approval. Mr. Drew explained the Plan Commission's distinct responsibilities: approve a resolution recommending boundaries of the district, zoning, and conformity to the City's comprehensive plan; render an opinion on the feasibility and legality of the project plan; votes whether or not to approve project plan; makes a recommendation whether or not City should approve creation of the district. Mr. Drew requested that Ms. Presti continue. Ms. Presti reviewed what Tax Incremental Financing is as a financing mechanism and tool for revitalization; went over key terms; reviewed how the mechanism works (where money comes from, where spent, when terminated); explained what is required for specific TIDs; and explained what the "but for" test is (improvements could not occur but for the creation of the TID). Ms. Presti spent some time reviewing the development plan from last fall, explaining the process to put it together, noting that this is a good time for a TID at this location due to interest in immediate development and mentioned some of the 'catalytic sites' under consideration (hotel, brew pub). Mr. Drew reviewed the boundaries of the district, explained the reason for including the Mill Pond (contiguity) and requested that Ms. Presti discuss the ½ mile boundary around the TID. Ms. Presti noted that there is a boundary around the TID which might benefit from development within the TID, possibly for improvement within areas that could connect in some way to the TID (signage, welcoming areas, awning connection locations). The TID area itself includes 44 parcels and covers almost 8.5 acres. Ms. Presti also noted the difference between rehabilitation & conservation, and blight, noting that TID 10 is a rehabilitation and conservation TID and nothing about the TID implies neglect on the part of owners in the TID. Mr. Drew explained some of the possible projects and uses in the TID, such as burying power lines, and finishing the Mill Pond. Ms. Presti also noted a possible façade improvement program, streetscaping, traffic management, bike/pedestrian improvements, parking improvements, signage, and awning connections. Mr. Drew reviewed some value increment/financed projections and options. Chairperson Michalak requested appearances in favor. Tom Hostad, on behalf of the Hartford Area Development Corporation and the Downtown Project Management Team, and Danny Dulak, owner of Second Chance Ventures, spoke in favor of approving the TID, with Mr. Dulak also asking if the ½ mile radius area would be 'tiered' in comparison to the TID itself when allocation decisions were made. Chairperson Michalak requested appearances in opposition. Jan Hatch, 30 Mill Street, appeared with questions about the boundaries and what might precipitate changing them. She also asked when the meetings (for the development plan) took place last fall and how many people attended. Chairperson Michalak closed the hearing and invited discussion by Plan Commissioners. Member Henke asked Mr. Drew to review the questions asked at the podium. Mr. Drew reviewed the process of the downtown plan process, noting that meetings were held in October and December of 2015, with 50 – 60 people at each meeting. The overall downtown plan was approved by the Plan Commission last December, and by the Common Council in early February 2016. Mr. Drew compared the downtown plan process with a detailed vision statement, and the TID process as the 'nuts and bolts' work to fulfill the vision statement. Mr. Drew clarified his remarks about the changing boundaries in a TID: the boundaries in TID 9 were changed at the request of a landowner, to

include more land. The change was incorporated into the TID approval process, which is allowed. TID 10 boundaries have not changed. Ms. Presti then reviewed the question about tiering the ½ mile radius, explaining what to expect as the increment grows. Member Henke asked for some boundary ‘landmarks’ of the ½ mile radius. Mr. Drew explained that landmarks could not be specifically identified but in general, the east boundary is Wilson Avenue; north is around the area of the CBRF (The Gardens of Hartford) north of Prospect; west is almost to Wacker Drive and south is the Chandelier Ballroom on Jefferson Avenue. Chairperson Michalak asked if 100 N. Main is part of the TID. Mr. Drew confirmed and explained that boundaries were chosen to primarily include properties that could see a large value increase. The rest of the area should expect to see values increase as a result of the TID increment increase. Member Henke asked if the base value assessment would be for 2016 or 2017. Mr. Drew responded that the assessment would be for 2017, as there will not be enough building in 2016 to create a desirable increment. Chairperson Michalak requested a motion to approve Resolution PC-2016-001, a resolution approving the district boundaries and project plan for proposed tax increment finance district #10. Motion by Jewell, second by Anderek to approve Resolution PC-2016-001. Chairperson Michalak requested discussion. Member Henke asked if a roll call was required. No roll call was necessary. Motion carried.

### **Review of a Rezoning Request for 220 Union Street**

#### *Executive Summary Review:*

Hartford Historic Preservation Foundation requested rezoning for the property located at 220 Union Street, tax key number 36-2102-018-011. The property is currently zoned Rs-4 Single Family Residential District. The requested zoning is B-3 General Business District. Hartford Historical Preservation Foundation wishes to restore the property and use the mansion for small gatherings, dinner parties and wine tastings. In addition, the HHPF intends to use the mansion as an extension of the Chandelier Ballroom, allowing guests to utilize the property as an ‘inn’ for bridal parties to stay when hosting weddings at the ballroom. In August, a change was made to the City of Hartford 2030 Smart Growth Plan to allow for commercial development at this site. Following an approved rezoning, a conditional use permit application will be submitted and reviewed. The property is surrounded by single-family and duplex zonings. One block south is B-3 General Business District zoning for multi-family and commercial uses. The property is approximately 925’ to the east and 265’ to the north of the Downtown Business Improvement District, an area predominately zoned B-3. The property meets the area (5,000 square feet) requirements for B-3. There are no setback requirements in the B-3 district. Planning Staff recommended approval.

#### *Plan Commission Discussion, Rezoning Request, 220 Union Street:*

Mr. Drew reviewed the executive summary. Chairperson Michalak requested discussion. Member Henke noted that he would be recusing himself due to his involvement with Hartford Historic Preservation Foundation. Motion by Anderek, second by Jewell to recommend that the Common Council approve the rezone from Rs-4 to B-3 for 220 Union Street. Motion carried.

### **Site Plan Review for Birch Crossing Apartments, Located North of the Current Terminus of Liberty Avenue**

#### *Executive Summary Review:*

The Common Council approved the Annexation Petition and assigned a temporary zoning of Rm-3 in July, 2016. The Plan Commission approved a Conditional Use Permit for a Planned Unit Development (PUD) in August. The PUD allows for 12-unit buildings. Premier Real Estate Management has submitted a plan for seven 12-unit buildings. The property is zoned Rm-3 Multi-Family Residential. Multi-Family buildings of this size are allowed in the Rm-3 Multi-Family Residential District as a Conditional Use (up to 24 unit buildings can be approved). Because the development involves the dedication of public Right-of-Way, approval will need to be conditioned upon City approval of a Certified Survey Map. The property is surrounded by the Rubicon River to the north, undeveloped town land to the west, the Libby Lagoon to the east, and Wal-Mart to the south. The proposed multi-family buildings would be arranged around both sides of an extended Liberty Avenue. Three of the buildings east of Liberty Avenue extended would be arranged around a private driveway. Building placement shifted somewhat due to the presence of wetlands and floodplain on the property. The proposed Multi-Family buildings would have the following setbacks and lot coverage:

- **26 feet** from the proposed extended Liberty Avenue Right-of-Way
- **25 feet** from the western property line
- **135 feet** from the eastern property line
- **40 feet** from the northern property line
- Lot Coverage would be approximately **12.4%** of the 15.0-acre site, below the 25% maximum allowed by Code in the Rm-3 District.

The adopted Smart Growth Plan identifies this area for medium density residential development (5.8 – 8.0 units per acre). The area to the west and south calls for commercial development as well. The area to the north is identified as conservancy and is not intended to be developed. The density proposed for this development would be 6.1 units per acre. As proposed, the site plan would meet the zoning requirements of the Rm-3 zoning District with an approved Planned Unit Development. The Developer proposes two bedroom apartments arranged in 12-unit structures. The proposed buildings would be two stories tall. Buildings would have 1-car attached garage stalls for each unit. There would be no common hallways. In addition, a maintenance building is proposed at the south end of the development. The buildings are proposed in a Prairie Style, with low roof pitches and large overhangs. The façade would be composed of a brick wainscot around the first floor, first floor brick at the corners of the buildings, with two tones of vinyl siding on the second floor, as well as vinyl “cedar” shake accents between some of the windows. Numerous changes of plane and windows are present along each façade. Dormers do a good job of breaking up the scale of the building. Colors would include tan, gray, taupe, and green. The plan proposes an extension of the Liberty Avenue Right-of-Way north of its current terminus. The Right-of Way would travel north, then angle towards the northwest. This layout would facilitate the continued expansion of Liberty Avenue towards the northwest. The City always insists on at least two access points (or the potential for two access points when additional development occurs) to ensure proper emergency access. The plan will meet this requirement when the east and west ends of Liberty Avenue connect. In the interim, the buildings flank both sides of the proposed Liberty Avenue extension, and emergency access is satisfactory. Public sidewalk is shown on the west side of Liberty Avenue extended and an 8-foot wide asphalt trail is proposed for the east side of Liberty Avenue extended. At some point in the future, the Rubicon River Trail will extend just north of this development. In order to allow access to this

trail, Staff will work with the Developer to identify potential pathways within the development, as well as identifying a pedestrian easement on the west side of the property. This easement can be incorporated into the Certified Survey Map. The proposal indicates 84 garage stalls, 83 parking stalls, and parking space in front of each attached garage. In total, 251 parking spaces are provided, or an average of 2.9 spaces per unit (the Code requires 2 spaces per unit). The property slopes down from southwest to northeast. The grading plan calls for the southwest portions of the development to be brought down and the lower areas near the river to be brought up, creating a fairly flat development site. Stormwater will be directed to a series of ponds towards the Rubicon River. An engineering consultant is reviewing the grading plan, and City Staff will notify the developer if any changes are required. Sanitary sewer and water main are located in the Liberty Avenue Right-of-Way directly south of the property. Some minor changes to the type, size, and coverage of the mains were required, and the Developer is working to amend the infrastructure construction plans. The Developer is also working with Hartford Electric to establish easement locations. The submitted landscape plan shows 32 Black Hills Spruce, 13 Autumn Blaze Maples, and 8 Thornless Honey Locusts, as well as 81 ornamental trees planted around the buildings and driveways. Many of the spruce trees and some of the junipers are proposed to be located near the south and west property line. This is the most likely location for the electric easement. If the electric easement is located in these areas, those spruce and junipers will need to be relocated to other locations on the site. A large number of deciduous and evergreen shrubs and flowers would surround the foundation of each building (more than 127 per building). No street trees are shown along the Liberty Avenue Right-of-Way on the landscape plan. Street Trees are required by 12.0815 of the Code. The Developer will need to submit a street tree plan within two months. The volunteer City Forester will review and approve the plan. Trash enclosures are shown on each side of each building. Staff recommends that the dumpster be enclosed with wood fencing and a gate. A photometric plan has not been submitted. If exterior parking lot lights are proposed, a photometric plan meeting City requirements will need to be reviewed and approved. Planning Staff recommended approval of the Site Plan for Birch Crossing Apartments subject to City approval of a Certified Survey Map, and submittal of a Street Tree Plan within two months of site plan approval.

Plan Commission Discussion, Birch Crossing Site Plan:

Mr. Drew reviewed the executive summary and noted that a street tree plan had been submitted. Chairperson Michalak asked, on a related issue, if sidewalks were being considered on Wacker Drive for pedestrians trying to walk to WalMart. Mr. Drew noted that the City had looked at the possibility of a walking path south of the airport to the Rubicon River trail but expense was a stumbling block. Discussions continue on a pedestrian/bike path on Wacker. Chairperson Michalak asked if the Birch Crossing development could be pushed to include a path north to State Street. Mr. Drew noted that the City could not connect at this time due to open farmland between the development and any walking areas. Chairperson Michalak encouraged the development of walking paths that would allow people to get to WalMart, since he hears from many constituents on this issue. Member Regan asked if the developer was amenable to the easement needed on the north side. Mr. Drew asked the representative from Lynch & Associates to come to the podium to discuss. The Lynch & Associates representative noted that company attorneys would need to review the request, due to pedestrians being so close to buildings. Mr. Drew noted that an easement could be negotiated as part of the Development Agreement. Member Henke asked if this was the only place a pedestrian path could go. Mr. Drew stated that it is not the only location, but it is the shortest path. It is not directly against the buildings but

City of Hartford Plan Commission, September 12, 2016

against the parking lot, and screening would be appropriate. Chairperson Michalak requested further discussion, and requested a motion. Motion by Henke, second by Regan to approve the Birch Crossing site plan, subject to approval of a Certified Survey Map. Motion carried.

**Adjournment** – Motion adjourned by call of chairperson at 6:25 p.m.

Respectfully submitted,  
Justin Drew, City Planner

Compiled by Char Smelter, Planning Secretary

## Executive Summary

**Title:** Review of a Conditional Use Permit Request for 220 Union Street

**Background:** The applicant, Hartford Historic Preservation Foundation, has submitted a request for a Conditional Use Permit to allow this property to be used for 'private events'.

In early 2016, Hartford Historic Preservation Foundation purchased this property, known as the "Schwartz Mansion", and began efforts to tie it to the Chandelier Ballroom, with the intent to use it as a venue for small gatherings, and as an inn for bridal parties to stay when hosting weddings at the Ballroom. A conceptual use plan and parking layout were approved at the June 13 Plan Commission meeting. In August, the City's Smart Growth Plan was revised by the Common Council to accommodate the contemplated changes, and a rezoning petition (from single family residential to general business) was approved last month. The last remaining requirement is the granting of a Conditional Use permit to allow the proposed entertainment and hospitality uses being considered.

Section 13.0400 indicates that Conditional Use Permits can be issued, "Provided that such conditional uses and related structures are **in accordance with the purpose and intent of this ordinance** and are found to be **not hazardous, harmful, offensive, or otherwise adverse** to the environment or value of the neighborhood or the community."

**Analysis:** Hartford Historic Preservation Foundation intends to preserve and restore the Schwartz Mansion in a way that showcases its previous and still current condition as an historic structure in the City, and turn it into a more public venue that will allow both commercial uses (small dinner parties, wine tastings) and hospitality use (an 'inn' for clients who have scheduled events such as weddings at the Chandelier Ballroom). In addition, participation in local house tours is planned as a way to share the beauty of the property with the general public. The property was chosen in part because it is still in excellent condition and not many changes have been made from its original construction; therefore, a respectful preservation and restoration is more attainable. The change in September to B-3 General Business District zoning allows the commercial and hospitality aspects of the proposed changes to move forward, with approval as a conditional use. Staff suggested that events be limited to no more than two per week, and the applicant is amenable to this limit.

After review of the application and previous approvals, Staff does not believe that the proposed use would be harmful, hazardous, offensive, or otherwise adverse to the community and is in accord with the purpose and intent of the B-3 General Business District. However, in order to ensure that the proposed use does not expand to be a more intensive commercial use, Staff recommends limiting events to no more than 1 function per week on average, and no more than 2 in any given week.

**Recommendation:** The Planning Staff recommends approval of a Conditional Use Permit for the Hartford Historic Preservation Foundation to allow use as a commercial venue and inn in the B-3 General Business District, with events limited to no more than 1 function per week on average, and no more than 2 in any given week.

**Prepared By:** Justin Drew 10/5/16  
Justin Drew Date  
City Planner

**Approved By:** Steve Volkert 10/5/16  
Steve Volkert Date  
City Administrator

Routing: Plan Commission, October 10, 2016

Daily News:  
September 23, 2016  
September 30, 2016  
34 Notices Sent

NOTICE OF PUBLIC HEARING  
CITY OF HARTFORD  
PLAN COMMISSION

PLEASE TAKE NOTICE that a PUBLIC HEARING will be held at 5:30 p.m. or thereafter on October 10, 2016 in the Common Council Chambers at the lower level of City Hall, 109 N. Main Street, by the City of Hartford Plan Commission to consider the following:

A Request for a Conditional Use Permit has been filed by Hartford Historic Preservation Foundation to allow the restoration of the property at 220 Union Street, tax key number 36-2102-018-011 for use as a venue for small gatherings including dinner parties and wine tastings; as well as an extension of the Chandelier Ballroom, allowing guests to utilize the property as an 'inn' for bridal parties to stay when hosting weddings at the ballroom.

Section 13.0404 of the Municipal Code states that, "Following a public hearing and after careful consideration, the Plan Commission may grant the Conditional Use Permit as applied for, grant the Conditional Use Permit with conditions deemed appropriate, or deny the permit".

A map of the parcel can be viewed in the Planning and Zoning Office by appointment, 109 N. Main Street, Monday- Friday between the hours of 7:30 a.m. and 4:30 p.m.

The purpose of said hearing is to hear those persons who wish to express their opinion for or against the granting of this Conditional Use Permit.

Dated this 23<sup>rd</sup> day of September, 2016.

Lori Hetzel  
City Clerk  
City of Hartford

**Char Smelter**

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**From:** Freeman Legals <freemanlegals@conley.net>  
**Sent:** Tuesday, September 20, 2016 10:49 AM  
**To:** Char Smelter  
**Subject:** Re: Public Hearing Notice, 220 Union Street

Char,

This pub will run on 9/23 and 9/30 in the Daily News.

Thank you,

*Teri Malczewski*  
*Legal Department Coordinator*

Waukesha Freeman ,Oconomowoc Enterprise,  
News Graphic and Daily News  
*Tel: 262-513-2697*  
*Fax: 262-542-2015*  
*Mon.-Fri. 7:30am-3:30pm*

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**From:** Char Smelter <csmelter@ci.hartford.wi.us>  
**Date:** Tue, 20 Sep 2016 15:13:50 +0000  
**To:** Freeman Legals <freemanlegals@conley.net>  
**Conversation:** Public Hearing Notice, 220 Union Street  
**Subject:** Public Hearing Notice, 220 Union Street

Please publish September 23 and 30. Thanks - Char

2102-019-013  
James and Patricia Hosking  
433 Second Street  
Hartford, WI 53027

2102-017-009  
Robert and Robin Ehrensberger  
416 Third Street  
Hartford, WI 53027

2104-009-047  
Thomas and C. Weber  
323 Union Street  
Hartford, WI 53027

2102-008-008  
Jacqueline Yech  
217 Union Street  
Hartford, WI 53027

2102-009-008  
Gerald and Tracy O'Callaghan  
3730 S. Teri Lane  
Hartford, WI 53027

2102-009-002  
Property Professionals of Horicon  
W3061 Wildcat Road  
Iron Ridge, WI 53035

2102-018-011  
Hartford Historic Preservation Foundation  
150 Jefferson Avenue  
Hartford, WI 53027

2102-017-011  
Donald Miceli  
316 Union Street  
Hartford, WI 53027

2102-017-020  
Jeremy Peters & Deborah Schill  
306 Union Street  
Hartford, WI 53027

2102-008-002  
James Oestreich  
232 Second Street  
Hartford, WI 53027

2102-019-020  
Jamie Lang  
122 Union Street  
Hartford, WI 53027

2102-008-011  
Timothy Race McComb  
203 Union Street  
Hartford, WI 53027

2102-018-010  
Karen Christensen  
210 Union Street  
Hartford, WI 53027

2102-009-006  
Glen and Christine Hajek  
301 Fourth Street  
Hartford, WI 53027

2102-018-006  
Mark Hoffmann  
3780 STH 60  
Slinger, WI 53086

2102-007-006  
Jason Conrad  
245 Second Street  
Hartford, WI 53027

2102-017-008  
James and Susan Celmer  
426 Third Street  
Hartford, WI 53027

2102-018-008  
Michael and Mary Beth Dallman  
422 Second Street  
Hartford, WI 53027

2102-009-046  
David and Julie Hanrahan  
305 Union Street  
Hartford, WI 53027

2102-017-007  
Randall and Peggy Krebs  
5871 Rolling Hills Drive  
Hartford, WI 53027

2102-017-013  
Michael Locy  
429 Fourth Street  
Hartford, WI 53027

2102-018-014  
Lilac Homes LLC  
P.O. Box 15  
Rubicon, WI 53078

2102-018-007  
Norbert Schaefer  
430 Second Street  
Hartford, WI 53027

2102-018-012  
Cherie Hart  
421 Third Street  
Hartford, WI 53027

2102-017-014  
Megan Boehlke  
437 Fourth Street  
Hartford, WI 53027

2102-017-012  
Alan and Diane Capps  
421 Fourth Street  
Hartford, WI 53027

2102-008-010  
Katie and Wayne Ennis  
223 Union Street  
Hartford, WI 53027

2102-007-010  
Dzemail Zornic and Nurka Begovic  
307 Second Street  
Hartford, WI 53027

2102-008-006  
Frank and Stefanie Wade  
241 Third Street  
Hartford, WI 53027

2102-019-012  
Stephen and Diane Mayer  
423 Second Street  
Hartford, WI 53027

2102-018-009

Robert and Andrea Koszewski  
204 Union Street  
Hartford, WI 53027

2102-008-009

Roland and Susan Scherer  
211 Union Street  
Hartford, WI 53027

2102-017-005

Daniel and Meghan Simons  
444 Third Street  
Hartford, WI 53027

2102-018-013

Steven Cypher  
433 Third Street  
Hartford, WI 53027

CITY OF HARTFORD  
APPLICATION FOR CONDITIONAL USE PERMIT  
(PLEASE PRINT OR TYPE)

For official use only	
Account #100.604.440000.44420 (#78)	
Review Fee: \$400.00	
Date Paid: _____	Received: _____

Address of Subject Property: <u>220 UNION STREET</u>	
Legal Description or Metes & Bounds Description: <u>(see attached)</u>	
Tax Key Number: <u>362102018011</u>	Zoning: _____
Existing Use: <u>Vacant</u>	

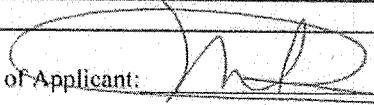
Applicant Name: <u>HARTFORD HISTORIC PRESERVATION FOUNDATION</u>		
Address: <u>150 JEFFERSON AVENUE</u>		
City: <u>HARTFORD</u>	State: <u>WI</u>	Zip: <u>53027</u>
Daytime Phone: <u>262.673.4946</u>	Fax: <u>262.673.5130</u>	Other: <u>—</u>
Owner Name: <u>SAME</u>		
Address: _____		
City: _____	State: _____	Zip: _____
Daytime Phone: _____	Fax: _____	Other: _____
Attorney Name: <u>—</u>		
Address: _____		
City: _____	State: _____	Zip: _____
Daytime Phone: _____	Fax: _____	Other: _____
Project Manager Name: <u>MICHELE PRICE (HHPF) / A &amp; N CONTRACTING LLC</u>		
Address: <u>637 MORGAN DRIVE</u>		
City: <u>HARTFORD</u>	State: <u>WI</u>	Zip: <u>53027</u>
Daytime Phone: <u>414.418.3209</u>	Fax: <u>—</u>	Other: <u>—</u>

Conditional Use Permit Application

Conditional uses and their accessory structures, because of their unique characteristics, are regarded as special uses that require review, public hearing, and approval by the Plan Commission. The public hearing may be held only after notice of the hearing appears in the official City newspaper for at least two consecutive weeks and at least seven days prior to the hearing. In addition, all owners of property within three hundred feet of the subject property will be notified by mail at least ten days prior to the hearing. The Plan Commission will review such aspects as structures, parking, access, traffic generation and circulation, provision of utilities, impact on surrounding uses, and anything else deemed necessary to preserve the purpose and intent of the Municipal Ordinance. The Plan Commission may grant a Conditional Use as submitted, grant a Conditional Use Permit with conditions, or deny the Conditional Use Permit.

Proposed use of property requiring Conditional Use Permit: VENUE FOR PRIVATE EVENTS
Description of existing and proposed structure(s) and improvements (attach additional sheets or documentation if necessary): ADDITION OF PARKING LOT, FENCING

Supporting Information: The following supporting information must be submitted with this application: *Plat of Survey or location drawing of the subject property drawn to scale and showing lot lines, existing structures, proposed structures, parking areas, and any other features that help illustrate the nature of the request. Include relevant dimensions of lot, structures and setbacks. Submittals should be at least 8.5" x 11" and no larger than 11" x 17". *Completed "Plan of Business Operations" form. *Other information as requested by City Staff
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Signature of Applicant: 	Date: 7-26-16
Signature of Owner (if different): _____	Date: _____
(Power of Attorney or written authorization required if owner is unable to sign.)	

## Executive Summary

**Title:** Site Plan Review – Grand Avenue Dental Care, 1163 Grand Avenue.

**Background:** The existing 3,364 square foot building is located on a 56,143 square foot B-5 Highway Business District property. The applicants are proposing a 1,533 square foot addition.

### Site Plan Criteria and Staff Comment:

Section 13.0324 (h) of the Municipal Code grants the Plan Commission the power to review and approve site plans based on the following criteria:

#### Adjacent Uses, General Layout, Building Plans

- The property is surrounded by other B-5 and B-4 Professional Office properties.
- The proposed addition would be located behind (west of) the existing building.
- The proposed addition allows for the creation 3 new treatment rooms, a lab, a bathroom, a locker room, and a staff lounge. It also allows for the creation of a crawl space under the proposed addition for storage.
- The proposed addition meets all setback requirements of the B-5 district.
- The exterior will be constructed of a stone wainscot and hardi-plank siding to match the existing building.
- No new parking is proposed. There are 30 existing stalls which satisfies the Code parking requirement.
- Lot coverage is increased to 8.7% of the, well below the 30% maximum lot coverage allowed by Code.

#### Grading, Drainage, and Utilities

The proposed addition will be built at the same elevation as the existing building. The proposed addition will result in a small impervious surface increase. However, given the large amount of remaining pervious surface and the fact that less than one acre of the site is being disturbed, new stormwater management measures are not required.

The City does not currently extend sanitary sewer or water service to the property. In addition, WE Energies currently serves this property with electric service.

#### Landscaping

16 additional ornamental plantings would be added to the south side of the addition. The proposed additional landscaping is sufficient.

**Recommendation** The Planning Staff recommends APPROVAL of the site plan for the Grand Avenue Dental Care, 1163 Grand Avenue.

**Prepared By:** Justin Drew 10/5/16  
Justin Drew, Date  
City Planner

**Approved By:** Steve Volkert 10/5/16  
Steve Volkert, Date  
City Administrator

ROUTING: PLAN COMMISSION 10/10/16

CITY OF HARTFORD  
 APPLICATION FOR SITE PLAN REVIEW  
 (PLEASE PRINT OR TYPE)

For official use only		
Account #100.604.440000.44420 (#78)		
<input type="checkbox"/> Site Plan Minor/No additional sf:	\$250.00	Date of PC Review: _____
<input type="checkbox"/> Site Plan, <10,000 sf construction	\$400.00	Zoning Administrator signoff: _____
<input type="checkbox"/> Site Plan, 10,000 – 50,000 sf	\$600.00	_____
<input type="checkbox"/> Site Plan, Industrial Construction, >50,000 sf	\$800.00	
<input type="checkbox"/> Site Plan, Commercial Construction, >50,000 sf	\$800.00	
Date Paid: _____	Total Fees Paid: _____	

Project Name: <u>Grand Avenue Dental Care</u>
Project Location (Address or Legal Description): <u>1163 Grand Ave.</u>
Tax Key Number: <u>36 28030020010</u> Zoning: <u>B-5</u>
General Project Description: <u>1484 sf addition to existing dental office</u>

Applicant Name: <u>Dan Hernandez, Design2Construct</u>		
Address: <u>N173W21010 Northwest Passage Way</u>		
City: <u>Jackson</u>	State: <u>WI</u>	Zip: <u>53037</u>
Daytime Phone: <u>262-677-9933</u>	Fax: _____	Other: _____
*****		
Owner Name: <u>Dr. Peter Wilk, Grand Avenue Dental Care</u>		
Address: <u>1163 Grand Avenue</u>		
City: <u>Hartford</u>	State: <u>WI</u>	Zip: <u>53027</u>
Daytime Phone: <u>262-673-7826</u>	Fax: _____	Other: _____
*****		
Contractor Name: <u>Sharon Reisma, Design2Construct</u>		
Address: <u>N173W21010 Northwest Passage Way</u>		
City: <u>Jackson</u>	State: <u>WI</u>	Zip: <u>53037</u>
Daytime Phone: <u>262-677-9933</u>	Fax: _____	Other: _____

See attached information regarding submittal requirements.



DESIGN  
•  
CONSTRUCTION

PHONE (262) 677-9933  
FAX (262) 677-9934

•  
N173 W21010  
NORTHWEST PASSAGE WAY  
JACKSON, WI 53037

BUILDING DESIGN FOR:  
**GRAND AVENUE DENTAL CARE**  
1163 GRAND AVENUE  
HARTFORD, WI 53027

PROJECT DATA: SHEET INDEX:

TS TITLE SHEET  
CIVIL DRAWINGS  
SHT 1 GRADING AND EROSION CONTROL PLAN  
LANDSCAPE DESIGN  
LSP.1 LANDSCAPE PLAN  
LSP.2 PLANTING DETAILS  
ARCHITECTURAL  
A1.0 SITE PLAN  
A2.0 LOWER LEVEL FLOOR PLAN  
A2.1 FIRST FLOOR PLAN  
A4.0 EXTERIOR ELEVATIONS

PROJECT CONTACTS

CIVIL CONSULTANT \_\_\_\_\_ ARCHITECT \_\_\_\_\_  
SEH, INC. MARK HERTZHELDT  
501 MAPLE AVENUE  
DELAFIELD, WI 53018  
KEITH KINDRED  
kkindred@sehinc.com  
OFF: (414) 949-8919  
CELL: (262) 370-0165

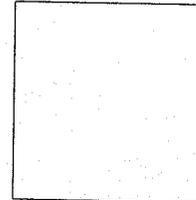
PROJECT MANAGER \_\_\_\_\_  
SHARON REISMA

PROJECT NO. \_\_\_\_\_  
16-00174

DATE \_\_\_\_\_  
09.19.2016

LANDSCAPE CONSULTANT  
INSITE LANDSCAPE DESIGN, INC.  
11525 W. NORTH AVE. SUITE 1B  
WAUWATOSA, WI 53226  
MIKE DAVIS  
mdavis@insitelandscape.com  
OFF: (414) 476-1204  
FAX: (414) 302-1781

SEAL \_\_\_\_\_



PREV. TRANS. NO.:  
NEW TRANS. NO.:  
REVIEWER:



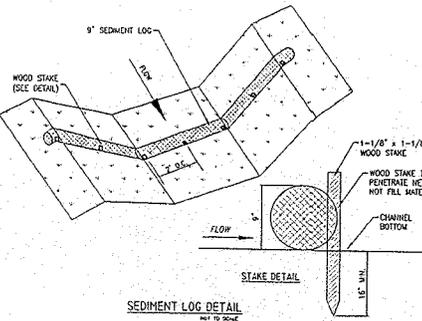
BUILDING DESIGN FOR:  
**GRAND AVENUE DENTAL CARE**  
1163 GRAND AVE  
HARTFORD, WI 53027

SHEET TITLE  
TITLE SHEET

REVISIONS

PROJECT DATA  
DATE: 09.19.2016  
JOB NO: 16-00174  
SET USE  
PLANNING COMMISSION  
FILE NAME  
DRAWN BY: A1-TS  
SHEET NO: 0811

TS



SEDIMENT LOG DETAIL  
NOT TO SCALE

**SURVEYOR:**  
KEITH A. KINHED, RLS S-2082  
SEH  
801 MAPLE AVE  
DELAFIELD, WI 53018  
(414) 848-8919  
KOUNDRED@SEHINC.COM

**SURVEY FOR:**  
DESIGN & CONSTRUCT DEVELOPMENT  
CORPORATION  
RE: GRAND AVENUE DENTAL CARE  
N173 W2101 NORTHWEST PASSAGE WAY  
JACKSON, WI 53027  
(262) 677-8925

- LEGEND**
- - 1" IRON PIPE FOUND
  - - UTILITY BOX
  - - CONCRETE LIDS
  - ⊕ - STORM INLET
  - ⊖ - MANHOLE
  - ⊕ - EX. GROUND ELEV. AS OF DATE OF SURVEY
  - ⊖ - FIRST FL. ELEV. OR BENCHMARK ELEV.

NO.	BY	DATE	REVISIONS

SEH FILE NO.	08100
PROJECT NO.	138814
ISSUE DATE	02/02/2015
DRAWN BY:	BT
DESIGNED BY:	
CHECKED BY:	

PHONE: 414.848.8922  
 801 MAPLE AVE  
 DELAFIELD, WI 53018-4321  
 www.sehinc.com

**GRADING AND EROSION CONTROL PLAN**  
 BEING ALL OF LOT 1 CSM 6370,  
 LOCATED IN THE SW 1/4 OF SEC. 28 T.10N., R. 18E., IN THE  
 CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

SHEET  
1

**EROSION CONTROL**

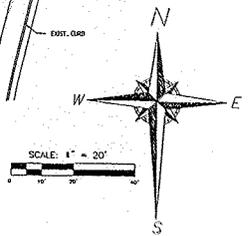
1. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE "TOP-1" EROSION CONTROL, WATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS."
2. SEDIMENT CONTROL MEASURES MAY NEED TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
3. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES TO ENSURE INTENDED FUNCTION IS ACCOMPLISHED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH DAY.
4. INSPECT SEDIMENT CONTROL STRUCTURES FOR INTEGRITY AFTER ANY SIGNIFICANT RAINFALL OF 1/2" OR MORE. CORRECT ANY DAMAGED STRUCTURES IMMEDIATELY.
5. DO NOT REMOVE ANY SEDIMENT CONTROL MEASURES UNTIL THE AREAS SERVED HAVE 70% OR MORE ESTABLISHED VEGETATIVE COVER.
6. ALL TRACKED SOIL ON ADJACENT STRIPS FROM THIS PROJECT MUST BE CLEANED ON A DAILY BASIS, MINIMUM.
7. ANY NECESSARY OR UNWARRANTING MUST BE DONE PER CORP TECHNICAL STANDARDS. THE CONTRACTOR SHALL HAVE AN APPROPRIATELY SIZED (CONFORMANCE DIVERTING BAG) ON-SITE AT ALL TIMES. ALL DIVERTING BAGS TO BE PURCHASED TO THE BAG. THE BAG SHALL BE PLACED IN A LOCATION THAT ALLOWS FOR TRACKED WATER TO FLOW OVER VEGETATION AND NOT CREATE FURTHER EROSION AND SEDIMENT DISPERSION.

**CONSTRUCTION SCHEDULE**

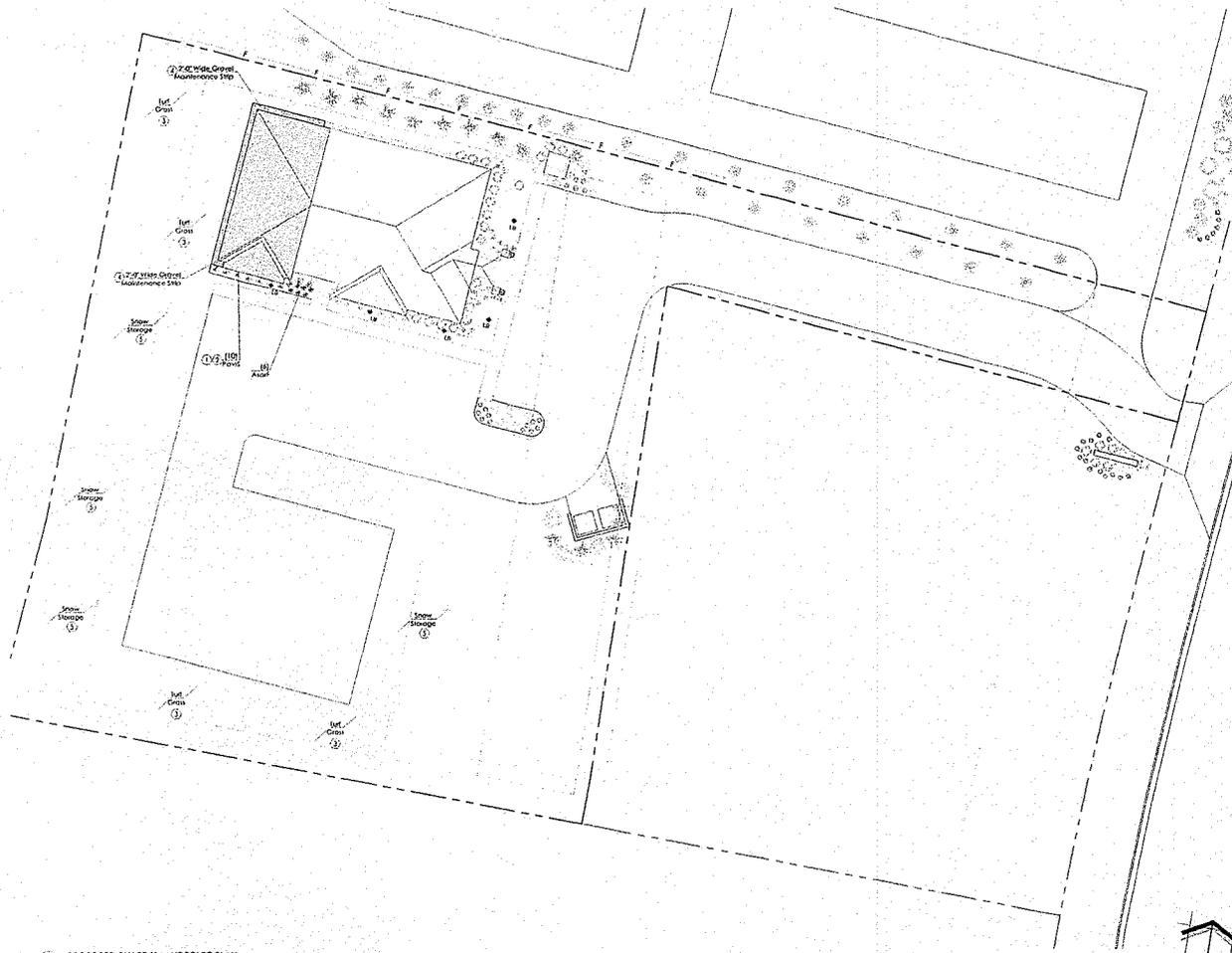
1. INSTALL SEDIMENT LOG
2. STRIP AND STOCKPILE TOPSOIL IN PROPOSED LOCATION. STABILIZE WITH TEMPORARY SEED (1 LBS PER 100 SQ YD). SET FENCE SHALL BE PLACED ON ALL EXPOSURE AND SUBSEQUENT TOPSOIL STOCKPILES.
3. INSTALL FENCE RESTORATION OF ALL EXPOSED AREAS, FOR DURING CONSTRUCTION OF PROPOSED BUILDING.
4. ONCE VEGETATION HAS BEEN ESTABLISHED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND RESTORE ANY AREAS DISTURBED DURING REMOVAL.

**NOTES**

1. UTILITY EASEMENTS SHOWN PER FINAL PLAT-NO TITLE POLICY PROVIDED
2. THIS SURVEY IS SUBJECT TO ALL RESTRICTIONS AND NOTES SHOWN ON THE CERTIFIED SURVEY MAP NO. 6370, WASHINGTON COUNTY REGISTER OF DEEDS OFFICE.
3. LIABILITY FOR DISTURBING LOT CORNER MONUMENTS \$250.00 OR UP TO 1 YEAR IMPROVEMENT PER SS. 236.31(2)
4. EXPOSE SOIL ANY SEVERE LATERAL PRIOR TO CONSTRUCTION TO VERIFY FLOW FROM BASEMENT
5. MISSING LOT CORNER MONUMENTS WERE NOT RESET AT THIS TIME PER THE CLIENT'S REQUEST. SIGNED LOT FIRE PLACEMENT WAIVER ON FILE IN ACCORDANCE WITH AE 7.01(2).
6. BENCHMARK OBTAINED FROM THE W 1/4 CORNER OF SECTION 28-10-N-18E
7. BUILDING SETBACK (PER CORP)  
FRONT / STREET = 30'  
SIDE = 10'



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**LANDSCAPE PLAN GENERAL NOTES**

- 1. PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AS MATURE GROWTH.
- 2. AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TRENCHING COMPANIES, UTILITIES OR SERVICES. REVIEW WITH OWNER BEFORE ANY MECHANICAL, ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE EROSION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITIES LOCATIONS. THE SAME AS THE POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK CITY" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR ON OWNER. MAKE ANY REVISIONS ON THIS PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT HIS COST TO OWNER.
- 3. ALL PLANTINGS SPECIFIED FOR THE GRAND AVENUE PHASE II PROJECT PLANNING AND SPECIFICATIONS LIST (L) SHALL COMPLY WITH STANDARDS AS DESCRIBED BY AMERICAN STANDARD OF NURSERY STOCK AND L1, L2 AND ANSI STANDARDS FOR NURSERY PRACTICES.
- 4. DEMONSTRATION SHALL BE APPROVED BY THE GRAND AVENUE PHASE II PROJECT PLANNING AND SPECIFICATIONS DRAWING IF THE CONTRACTOR AND ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERTICAL GRADING OF EXISTING AND PROPOSED GRADES SHALL BE RECORDED BY LANDSCAPE ARCHITECT. OWNER.
- 5. ALL PLANTS MUST BE 80 AND SELECTED FOR THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- 6. PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- 7. ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BULKING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPDRESSED 2" DEEP WITH A MIXTURE OF SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS NECESSARY TO REPAIR OR RESTORE ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- 8. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- 9. QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONFORMANCE OF INDUSTRY CON. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLAN AND COVERAGE OF ALL AREAS DESCRIBED. THE PLANTS ARE TO BE SPERDED THE PLANT LIST IN ALL CASES.
- 10. CONSTRUCTION IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.
- 11. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER DRAWINGS) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
- 12. ALL EXISTING, ADJACENT OR ADJACENT AREAS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- 13. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- 14. ALL LAWN AND PLANTING AREAS SHALL BE TOP DRESSED WITH A MINIMUM OF 2" UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- 15. FINISH GRADIES FOR DRIVE AND GRASS COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PATHS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLAN. REFER TO LPT FOR FURTHER INFORMATION.
- 16. ALL PERMANENT ANNUAL AND GROUND COVER AREAS TO RECEIVE A MINIMUM OF 2" DRESSING AMENDMENTS PRIOR TO PLANTING. ALL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 4". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LPT FOR FURTHER INFORMATION.
- 17. FOR EVERY 100 SQUARE FEET ADD:  
ONE - 5 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- 18. ALL SHRUBS TO BE PLANTED WITH A 50% MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LPT FOR FURTHER INFORMATION.
- 19. PLANT ALL TREES SUGGEST HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLES WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LPT FOR FURTHER INFORMATION.
- 20. ALL TREES TO BE INSTALLED, STAKED AND GUTED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING L1 AND DETAILS ON LPT FOR FURTHER INFORMATION.
- 21. PROVIDE A 4" - 5" DIAMETER MULCHING ALL LAWN TREES.
- 22. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- 23. WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" DRESSING OF SHREDDED HARDWOOD ONE BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR OBSTACLES TO WATERING. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS WITH MULCHING MATERIAL. REFER TO LPT FOR FURTHER INFORMATION.
- 24. LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (2" MIN) AND SEED BED. REMOVE ALL STONES 1" OR LARGER, APPLY STARTER FERTILIZER AND SEED UNIFORM. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TREES. GERMINATION HIGH SHOULD BE USED BY SHOULES AND SEED GRASSES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AS AT THE DISCRETION OF CONTRACTOR. IT IS EMPLOYER'S RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SUFFICIENT, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKLER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- 25. REQUIRED SEED MIXES:  
MINIMUM GRASS SEED MIX REFERENCE (L) 198-2000  
20% AMERICAN ENDOCRINE BLUE GRASS  
20% ALPINE ENDOCRINE BLUE GRASS  
20% LANGRISH ENDOCRINE BLUE GRASS  
10% VICTORY CHEVRON FESCUE  
10% HELIX PERENNIAL PLE GRASS  
10% CUTLER PERENNIAL PLE GRASS  
APPLY AT A RATE OF 125 POUNDS PER ACRE.  
REFER TO SUPPLIES SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.
- 26. SEED TREATMENT GRASS SEED MIX REFERENCE (L) 192-199-2000  
20% HELIX PERENNIAL PLE GRASS  
20% ALPINE ENDOCRINE BLUE GRASS  
20% LANGRISH ENDOCRINE BLUE GRASS  
10% VICTORY CHEVRON FESCUE  
10% HELIX PERENNIAL PLE GRASS  
10% CUTLER PERENNIAL PLE GRASS  
APPLY AT A RATE OF 125 POUNDS PER ACRE.  
REFER TO SUPPLIES SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.
- 27. DURING THE INITIAL "24 HOUR MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASE VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR SURVIVING SHALL BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
- 28. ALL RECENT PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPORTATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IF RECOMMENDED AS PART OF THE ON-GOING MAINTENANCE THAT ANY 600 PPM LEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ABSORVING) RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WATER DEFICIT AND STRESS OF TRANSPLANTATION. IF RECOMMENDED AS PART OF THE ON-GOING MAINTENANCE THAT ANY 600 PPM LEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ABSORVING) RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WATER DEFICIT AND STRESS OF TRANSPLANTATION. IF RECOMMENDED AS PART OF THE ON-GOING MAINTENANCE THAT ANY 600 PPM LEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ABSORVING) RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WATER DEFICIT AND STRESS OF TRANSPLANTATION.
- 29. MAINTENANCE: THE OWNER SHALL TREE AND SHRUBS IN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLANT PLANNINGS SHALL BE REPLACED WHEN NECESSARY AND REPT TREES FROM ROT, DISEASE, OR DROBE. ALL PLANTING MATERIAL WHICH DIES OR IS DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN 90 (90) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS ARE SALVAGED AND CLEARLY TAG THEM WITH HARDWARE TAPE AND CONSTRUCTION FENCE.

**INSITE**  
LANDSCAPE DESIGN  
Landscape Architecture  
and Master Planning Design Consulting  
11835 W. North Avenue Suite 1B  
Wauwatosa, WI 53226  
Tel: (414) 476-3204  
www.insitelandscape.com  
mlavis@insitelandscape.com

Project:  
**GRAND AVENUE  
DENTAL CARE  
Phase II**  
1163 Grand Avenue  
Hartford, WI

Issue and Revisions:  
Date: 09/09/16  
Number: 1  
Description: Check Review Summary

**PROPOSED PHASE II LANDSCAPE PLAN**

Proposed Phase II Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
10	T-100	(Symbol)	Panicum virgatum 'Shirahanae'	Panhandle Switch Grass	1-Gal - Cool	
5	A-100	(Symbol)	Ailanthus glandulosa 'Tanor'	Tanor Ailanthus	1-Gal - Cool	

- COORD NOTES**
- LANDSCAPE CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES TO BE SALVAGED & CLEARLY TAG THEM WITH MARKING TAPE & CONSTRUCTION FENCE. LANDSCAPE INSTALLATION CONTRACTOR TO COORDINATE INSTALLATION OF NEW PLANT MATERIAL AND THE COORDINATION WITH EXISTING TREES TO BE SALVAGED.
1. MATCHED AREA, DRESS WITH 2" - 3" OF SHREDDED HARDWOOD BARK MULCH. TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
  2. LAWN RED EDGE (SHOWS POINT) LANDSCAPE EDGE. TYPICAL ALL PLANT MATERIAL AREAS. DRESS WITH 2" OF SHREDDED HARDWOOD BARK MULCH. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
  3. SEEDED AREAS OF TURF GRASS, WEEDS AND ALL TURF DAMAGE FROM THE CONSTRUCTION PROCESS. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS REGARDING THE TURF GRASS FOR PROPER GERMINATION AND SURVIVABILITY OF THE SEED MIX. ALSO REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. REFER TO GRADING PLAN FOR FURTHER INFORMATION. ALSO REFER TO GENERAL NOTES & SPECIFICATIONS FOR FURTHER INFORMATION.
  4. 6" DEEP BY 24" WIDE #2 #4 CURB CLEAR RIVER ROCK STONE GRAVEL MAINTENANCE STRIP UNDO WITH WEED BARRIER AND ALUMINUM EDGING. REFER TO LPT FOR FURTHER INFORMATION.
  5. SHOW FORMAGE AREAS TO BE SEeded WITH DUAL TOLERANT ROADWAY GRASS SEED GRASS PAVE SYSTEM FROM A SOURCE STRUCTURES. REFER TO SUPPLIES CUT SHEET FOR FURTHER INFORMATION REGARDING BOTH SEED AND PAVING SYSTEM. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO PROMOTE PROPER DRAINAGE AND SURVIVABILITY OF THE SEED MIX.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND UTILITIES BEFORE THE DIG IN WISCONSIN

**DIGGERS HOTLINE**

WISCONSIN PARTICIPANTS MUST CALL 800-368-8683 TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND UTILITIES BEFORE THE DIG IN WISCONSIN. CALLING IS FREE AND THE SERVICE IS AVAILABLE 24 HOURS A DAY, 7 DAYS A WEEK. CALL BEFORE YOU DIG!

800-368-8683  
www.diggershotline.com

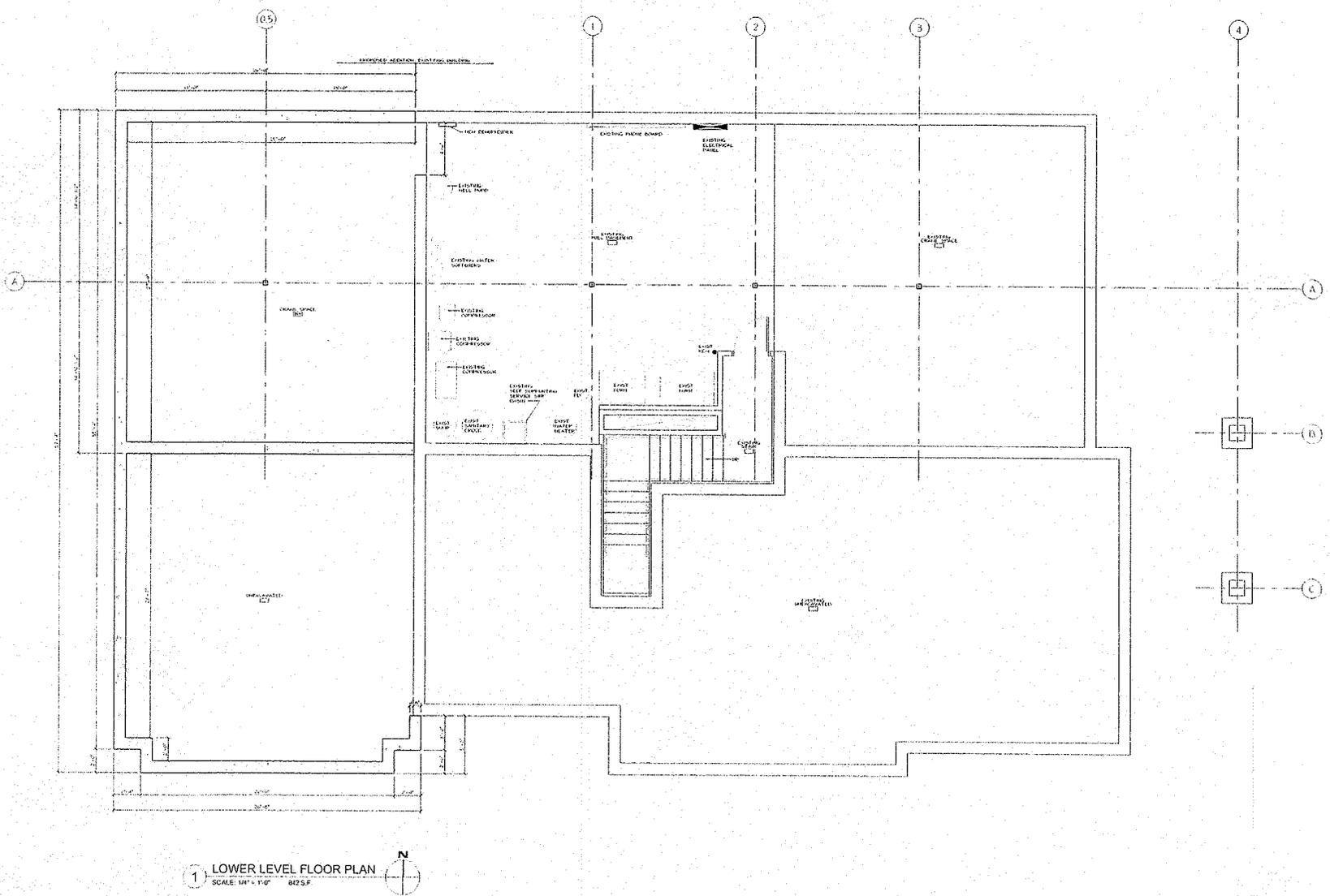
DATE: 09/09/16  
DRAWN BY: MCD  
JOB NUMBER: L16-061  
SHEET NUMBER: LSP1.1

NOT FOR CONSTRUCTION - PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY - DO NOT SCALE THESE DRAWINGS.

28







23



**DEMOLITION NOTES:**

GENERAL:

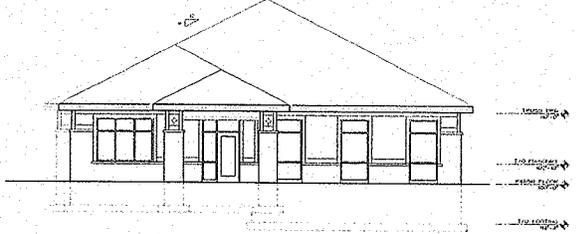
WHenever an existing item is scheduled or needed for removal, all adjacent areas disturbed by the demolition shall be patched and prepared as required for the installation of all new work.

ITEMS OF ORIGIN VALUE, REMOVED BY THE DEMOLITION WORK BUT NOT SCHEDULED FOR REUSE, SHALL BE RETURNED TO THE BUILDING OWNER FOR HIS USE. WHERE THE VALUE IS UNCLEAR, CONTACT THE BUILDING OWNER FOR A DETERMINATION. IF AN ITEM HAS BEEN REQUESTED FOR SALVAGE BY THE BUILDING OWNER, THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO MAINTAIN THE ITEM IN SERVICEABLE CONDITION.

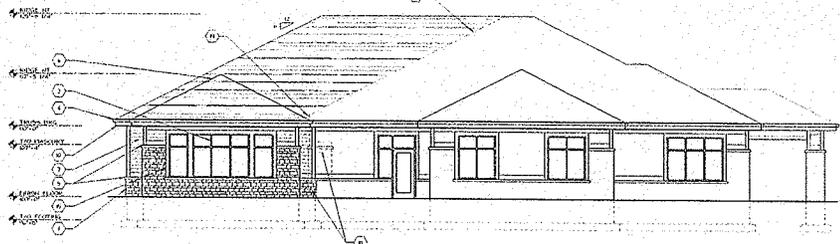
WHenever an exterior wall is scheduled for removal, the contractor responsible for the scheduled work shall provide a weather tight, secure, temporary enclosure at the end of each work day.

- 10 REMOVE EXISTING SHINGLES AND FELT PAPER
- 10 REMOVE EXISTING OVERHANGS, FASCIA, NORTH GUTTERS AND DOWNSPUTS
- 20 REMOVE EXISTING STONE VENEER, STONE SILL AND TRIM

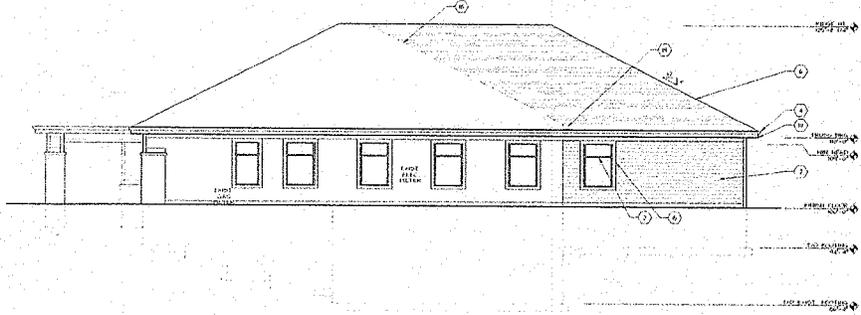
- TYPICAL BUILDING FINISHES**
- 1 DECOMPOSITIVE STONE VENEER - PRE-CAST STONE
  - 2 ALUMINUM STEREOFORM HANGING IN TYPICAL GRID
  - 3 ALUMINUM STEREOFORM ENTRY SYSTEM
  - 4 PRE-FINISHED GUTTER AND DOWNSPUT
  - 5 DECORATIVE STONE SILL
  - 6 30 YEAR LIFE EXPECTANCY ASPHALT SHINGLES
  - 7 PRE-FINISHED PINK CEDAR CEILING LAP JOINTS AT 4" MAX SPACING
  - 8 PRE-FINISHED DECORATIVE FIBER CEMENT CORNERS IN TYPICAL GRID
  - 9 FINISHED AIR ATTIC VENT
  - 10 PRE-FINISHED "HIDDEN CHIM" FASCIA
  - 11 UTILITY PIPES LOCATION - ALIGNED - SEE SITE PLAN FOR TANK/GRATE LOCATION
  - 12 UTILITY PIPES LOCATION - INTERNAL GAP
  - 13 DECORATIVE LIGHT FIXTURE
  - 14 FINISHED CEILING SINK, BATHROOM & GATED FINISHED ON 2" FINISHED STEEL ISOLATION
  - 15 PRE-FINISHED "HIDDEN CHIM" SHINGLE AND SUNK TRIM
- NOTE:**  
 ALL TRIM, CORNER BEWELS, ACCEPT BOUNDS AND FASCIA SHALL BE TYPICAL ONE CHANGE



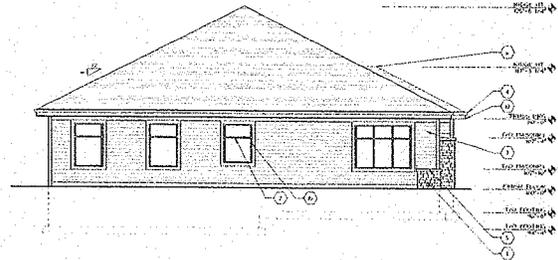
**4 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

BUILDING DESIGN FOR:  
**GRAND AVENUE DENTAL CARE**  
 1163 GRAND AVE  
 HARTFORD, WI 53027

SHEET TITLE  
 EXTERIOR ELEVATIONS

REVISIONS

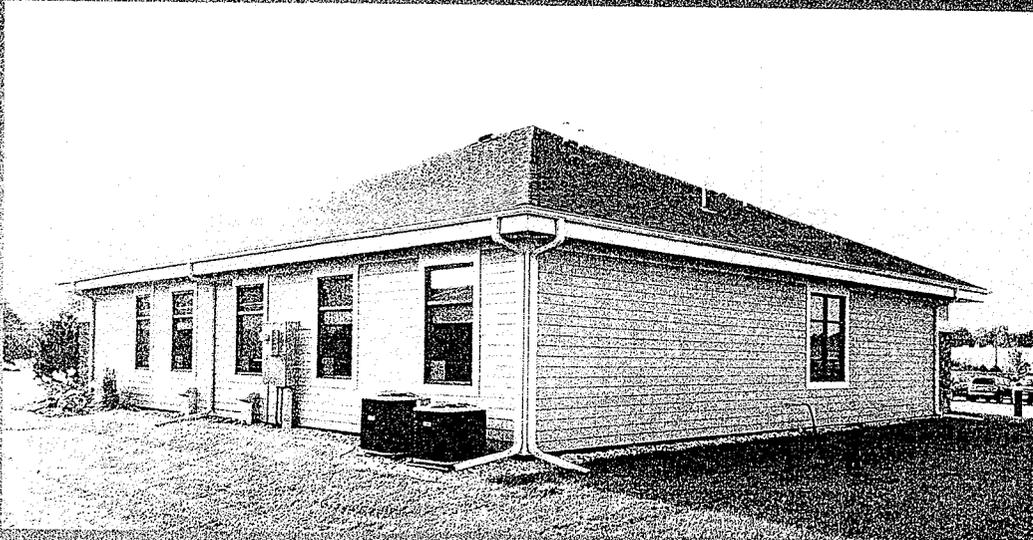
PROJECT DATA  
 DATE: 09.19.2016  
 JOB NO: 16-00174  
 SET USE: PLANNING COMMISSION  
 FILE NAME: GLA4.0  
 DRAWN BY: DCH  
 SHEET NO.:

**A4.0**

25

# GRAND AVENUE DENTAL CARE

HARTFORD, WISCONSIN



NORTHWEST ELEVATION



SOUTH ELEVATION

- Owner: Dr. Peter Wilk
- Site Area: 56,143 Square Feet
- Area of Existing Building: 3,364 Square Feet
- Area of Proposed Addition: 1,484 Square Feet
- Siding: Hard Plank "Cobblestone"
- Stone: Sierra Stack Ledger
- Roof: Brownwood® 30 Year Dimensional Asphalt Shingles
- Windows: Dark Bronze Frames, Bronze Tinted Glass
- Sill: Bedford 3-2-1/4"
- Trim: Smart SmartSide® Beige
- Fascia: SmartSide® Beige
- Site Location: 1163 Grand Avenue  
Hartford, WI 53027



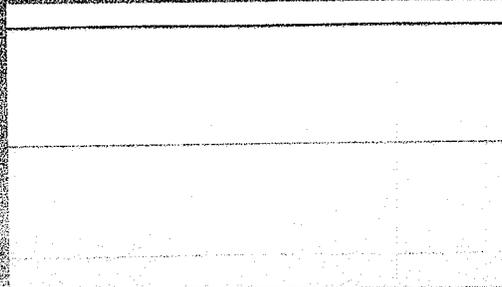
22

# GRAND AVENUE DENTAL CARE

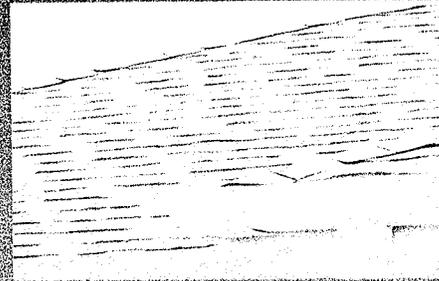
HARTFORD, WISCONSIN



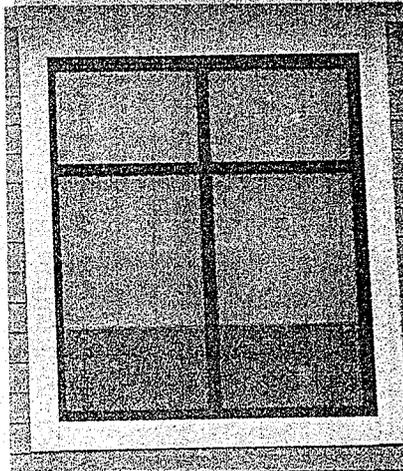
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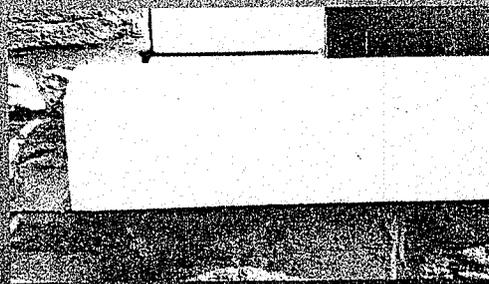
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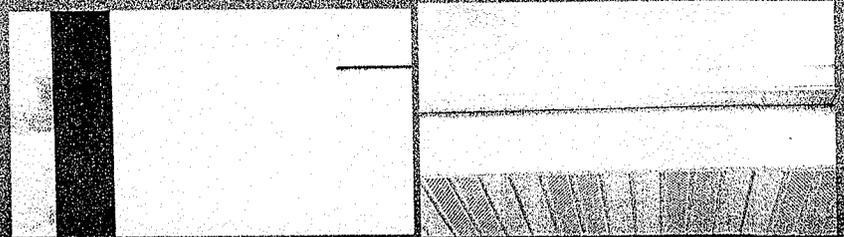
ROOF



WINDOWS



SILL



TRIM & FASCIA

**Executive Summary**

**Resolution No.** \_\_\_\_\_

**Title:** Review of the Certified Survey Map for Lots 1 & 2 of a parcel located in the southeast quarter of Section 18 at the current terminus of Liberty Avenue

**Background:** The Common Council approved the Annexation Petition and assigned a temporary zoning of Rm-3 in July, 2016. The Plan Commission approved a Conditional Use Permit for a Planned Unit Development (PUD) in August and approved a site plan for 84 units in seven buildings in September.

The certified survey map (CSM) consists of two lots. Lot 1 of the proposed CSM measures 228,807 square feet (5.25 acres); Lot 2 measures 408,963 square feet (9.39 acres).

Rm-3 zoning requires a minimum area of 3,111 square feet per dwelling unit and a width of not less than 100 feet at the building setback line. Lot 1 would have 9,528 square feet per dwelling unit and Lot 2 would have 6,817 square feet per dwelling unit, thus meeting City requirements.

The area between the two lots will be dedicated to the public for roadway purposes as Liberty Avenue extended. The Liberty Avenue Right-of-Way (ROW) extension is proposed as a 66-foot wide ROW, matching the width of the existing Liberty Avenue ROW.

Sanitary Sewer and water main utility easements meeting City requirements are shown on the CSM. In addition, a stormwater access easement meeting City requirements is shown on the CSM. The Developer and Hartford Electric are still working on the electric distribution design plan. In addition, the Development agreement calls for a 10 foot-wide pedestrian easement along the northwestern edge of the Development between the Liberty Avenue Right-of-Way and the Rubicon River Trail. As a result, Hartford Electric easements and the trail easement will need to be created as part of a separate agreement.

**Recommendation:** The Planning Staff recommends approval of the Certified Survey Map for Lots 1 & 2 of a parcel located in the southeast quarter of Section 18 at the current terminus of Liberty Avenue.

**Prepared By:** Justin Drew 10/5/16  
Justin Drew, Date  
City Planner

**Reviewed By:** Jason W. Schall 10-5-16  
Jason Schall Date  
City Engineer

**Approved By:** Steven Volkert 10-6-16  
Steven Volkert, Date  
City Administrator

ROUTING: Plan Commission 10/10/16  
Common Council 10/11/16

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION APPROVING A CERTIFIED SURVEY MAP  
FOR A PROPERTY LOCATED IN THE CITY OF HARTFORD  
Part of the Southeast ¼ of the Southeast ¼ of Section 18

**BE IT RESOLVED** by the Common Council of the City of Hartford, Washington/Dodge Counties, Wisconsin, that the Certified Survey Map for the property described part of the southeast ¼ of the southeast ¼ of Section 18, Township 10 North, Range 18 East, City of Hartford, Washington County, Wisconsin is hereby approved.

Signed:

\_\_\_\_\_  
Timothy C. Michalak, Mayor

INTRODUCED:

ADOPTED:

ATTEST:

\_\_\_\_\_  
Lori Hetzel, City Clerk

CITY OF HARTFORD  
APPLICATION FOR DEVELOPMENT REVIEW  
(PLEASE PRINT OR TYPE)

Project Name: Premier Birch Crossing

Project Location (Address or Legal Description): NORTH LIBERTY AVE. EXTENSION

Tax Key Number: 36-180400 3003

Applicant Name: Premier Birch Crossing, LLC

Address: 3120 GATEWAY ROAD

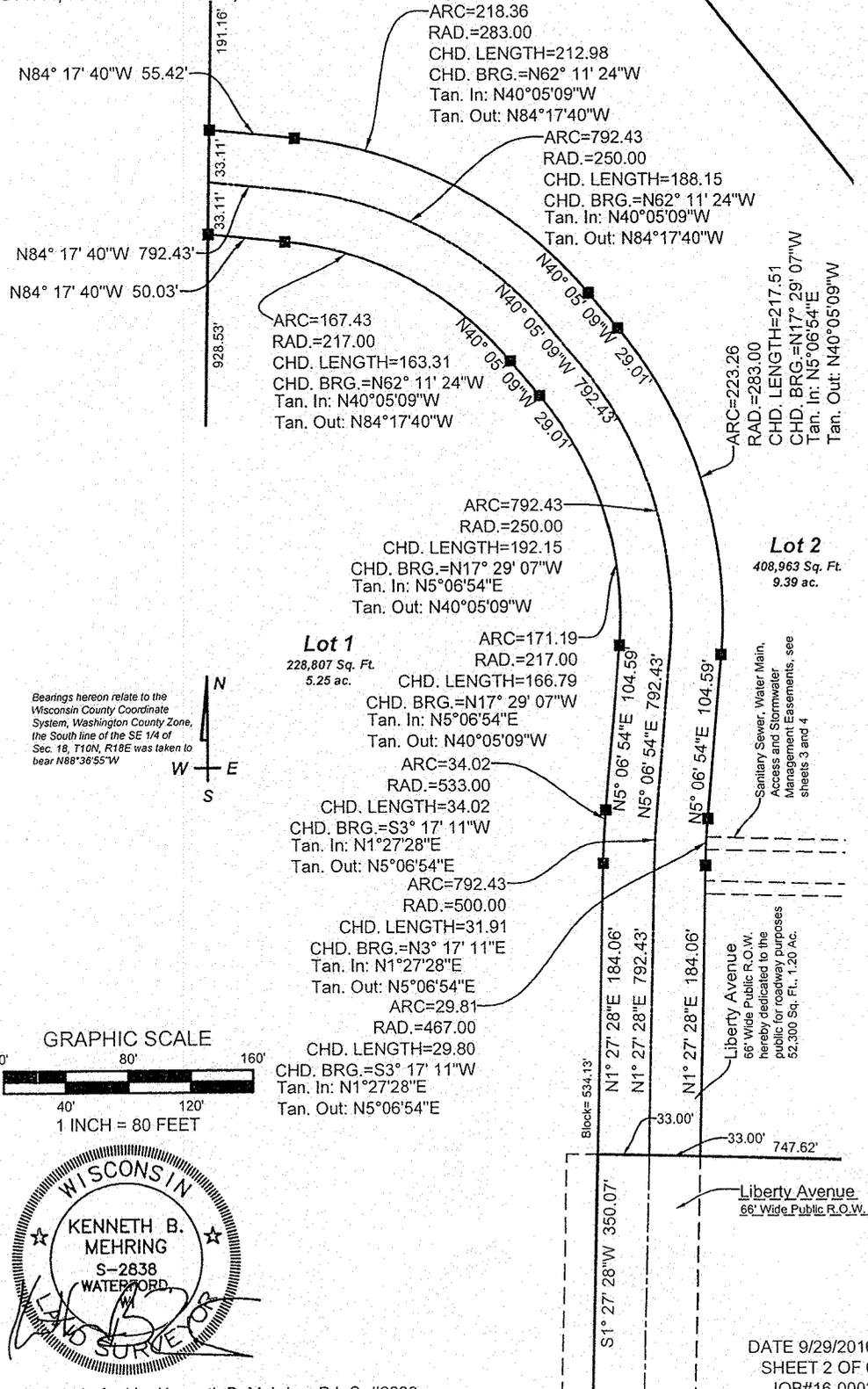
City: BROOKFIELD State: WI Zip: 53045

Daytime Phone: 262-790-4560 Fax: 262-790-4570 Other: \_\_\_\_\_

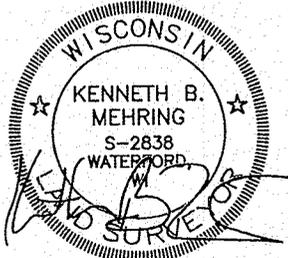
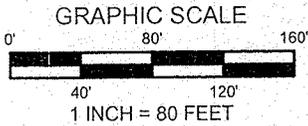
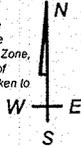
Office Use Only			
Account Number	Description	Amount	Subtotal
100.604.444100.44410 (#76)	*Master Plan Amendment	\$515.00	_____
*****			
100.604.440000.48890	*Special Plan Commission Meeting	\$400.00	_____
*****			
100.601.461400.46142 (#77)	*Conceptual Certified Survey Map	\$150.00	_____
	*Certified Survey Map	\$250.00	<u>250.<sup>12</sup></u>
	*Final Plat	\$500.00 + \$12.00/lot	_____
	*Final Plat Re-App	\$350.00	_____
	*Preliminary Plat	\$500.00 + \$15.00/lot	_____
	*Preliminary Plat Re-App	\$350.00	_____
*****			
100.604.440000.44420 (#78)	*Annexations	\$500 + \$100.00/acre (\$1500.00 max)	_____
	*Conceptual Plat, under 10 acres	\$300.00	_____
	*Conceptual Plat, 10 acres and over	\$450.00	_____
	*Planned Unit Development	\$400.00	_____
	*Condominium Plat	\$200.00	_____
*****			
<u>EXTRATERRITORIAL:</u>			
100.604.440000.44420 (#78)	Certified Survey Map	\$150	_____
	Preliminary Plat	\$400 + 12.00/lot	_____
	Final Plat	\$400 + \$10.00/lot	_____
Date Received:	Total Paid: <u>\$ 250.<sup>00</sup></u>		



CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
 PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 10  
 NORTH, RANGE 18 EAST, CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN.



Bearings hereon relate to the Wisconsin County Coordinate System, Washington County Zone, the South line of the SE 1/4 of Sec. 18, T10N, R18E was taken to bear N88°36'55\"/>

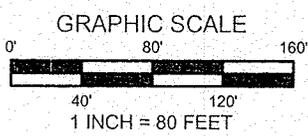
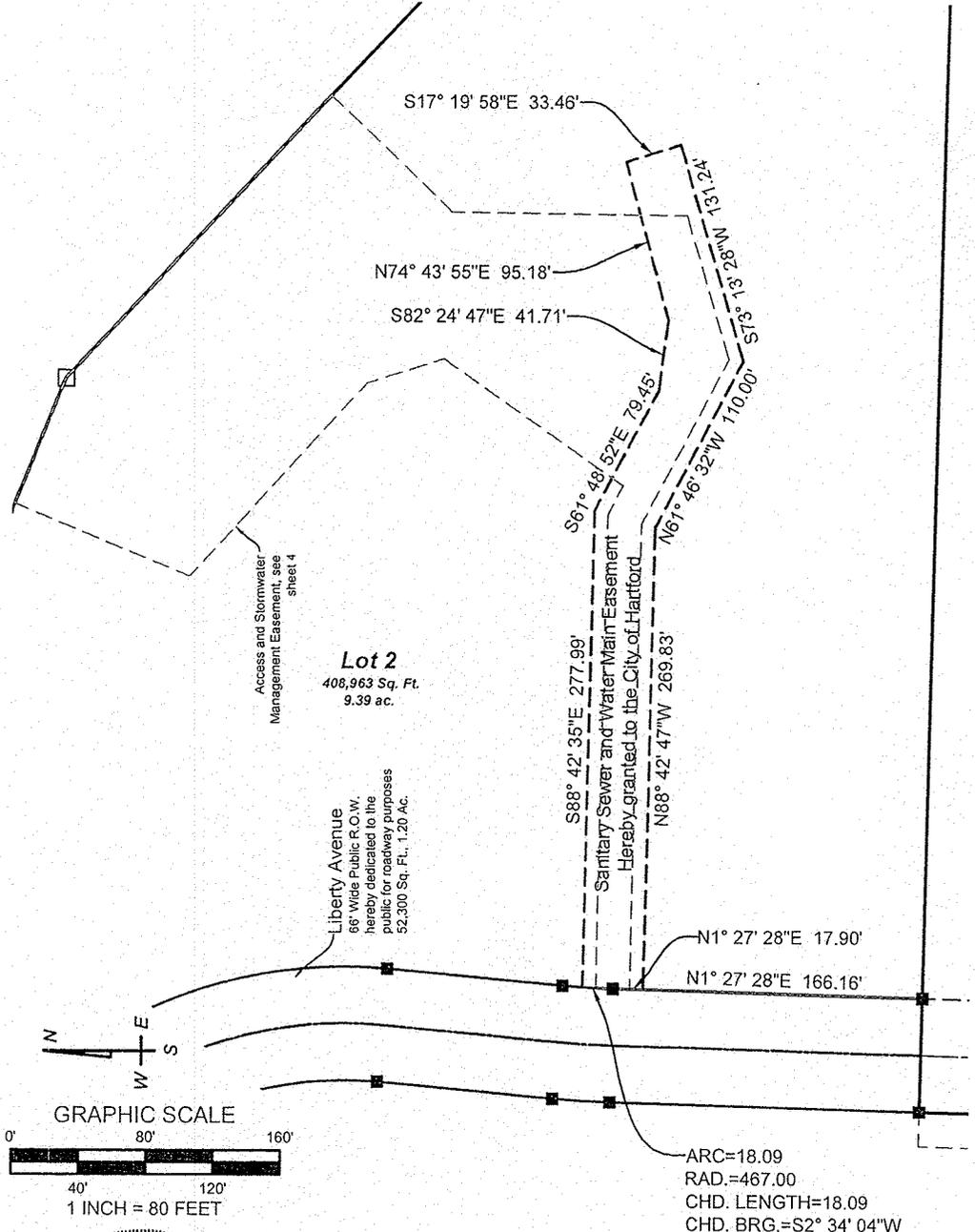


Instrument drafted by Kenneth B. Mehring, P.L.S. #2838

DATE 9/29/2016  
 SHEET 2 OF 6  
 JOB#16-0003

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CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
 PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 10  
 NORTH, RANGE 18 EAST, CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN.

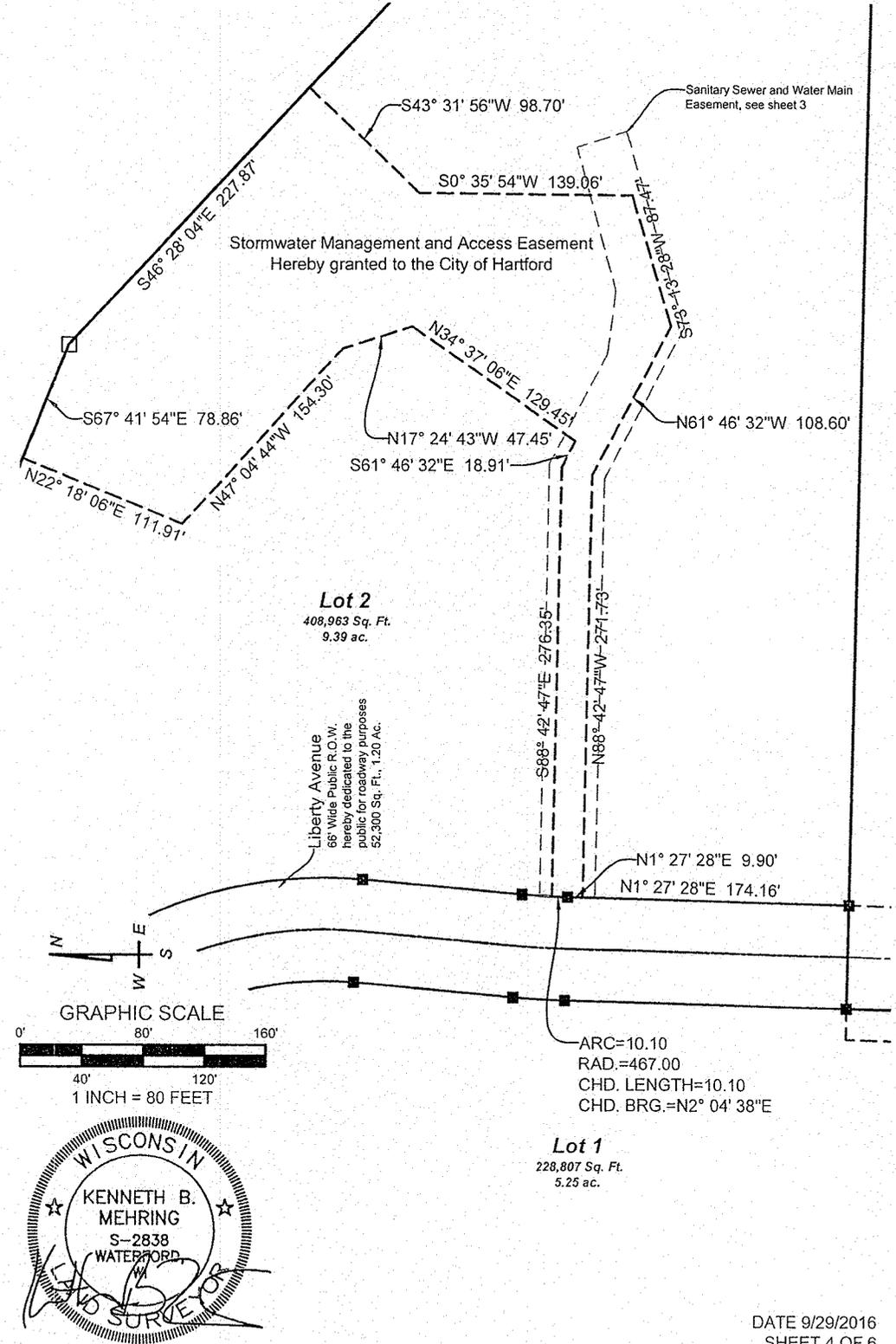


**Lot 1**  
 228,807 Sq. Ft.  
 5.25 ac.

ARC=18.09  
 RAD.=467.00  
 CHD. LENGTH=18.09  
 CHD. BRG.=S2° 34' 04\"/>

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CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
 PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 10  
 NORTH, RANGE 18 EAST, CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN.



CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 10  
NORTH, RANGE 18 EAST, CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

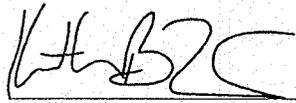
I, KENNETH B. MEHRING, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 10 NORTH, RANGE 18 EAST, CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN WHICH SOUTHERLY OF THE STATE OF WISCONSIN RAILROAD RIGHT OF WAY, SAID RAILROAD FORMERLY OWNED BY THE CHICAGO, MILWAUKEE & ST. PAUL RAILWAY COMPANY, EXCEPTING THEREFROM THAT PART AS DESCRIBED ON CERTIFIED SURVEY MAP NO. 6135, RECORDED IN VOLUME 45 OF CERTIFIED SURVEY MAPS ON PAGES 390-395, AS DOCUMENT NO. 1152769 AND FURTHER EXCEPTING THEREFROM THAT PART CONVEYED IN DOCUMENT NO. 1188425, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

COMMENCING AT A CONCRETE MONUMENT WITH BRASS CAP FOUND MARKING THE SOUTHEAST CORNER OF SAID SOUTHEAST 1/4 SECTION; THENCE N1°04'44"E, ALONG THE EAST LINE OF SAID 1/4 SECTION, 350.01' TO THE NORTHEAST CORNER OF SAID CERTIFIED SURVEY MAP NO. 6135; THENCE N88°36'41"W, ALONG THE NORTH LINE OF SAID CERTIFIED SURVEY MAP, 245.53' TO AN IRON BAR FOUND MARKING THE PLACE OF BEGINNING; THENCE N88°36'41"W, CONTINUING ALONG SAID NORTH LINE, 813.61' TO THE NORTHWEST CORNER OF SAID CERTIFIED SURVEY MAP; THENCE S1°27'28"W, ALONG THE WEST LINE OF SAID CERTIFIED SURVEY MAP, 350.07', TO AN IRON PIPE FOUND ON THE SOUTH LINE OF SAID SOUTHEAST 1/4 SECTION MARKING THE NORTHEAST CORNER OF CERTIFIED SURVEY MAP NO. 6403, RECORDED APRIL 6, 2011 IN VOLUME 48 OF CERTIFIED SURVEY MAPS ON PAGES 222-223, AS DOCUMENT NO. 1276463; THENCE N88°36'55"W, ALONG THE NORTH LINE OF SAID CERTIFIED SURVEY MAP NO. 6403 AND THE SOUTH LINE OF SAID SOUTHEAST 1/4 SECTION, 255.02' TO AN IRON PIPE FOUND MARKING THE NORTHWEST CORNER OF SAID CERTIFIED SURVEY MAP NO. 6403 AND THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SOUTHEAST 1/4 SECTION; THENCE N1°02'08"E, ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF SAID SOUTHEAST 1/4 SECTION, 1185.90' TO THE SOUTHWEST CORNER OF THE LANDS DESCRIBED IN THE AFOREMENTIONED DEED, RECORDED APRIL 9, 2008, AS DOCUMENT NO. 1188425; THENCE S74°27'54"E, ALONG THE SOUTH LINE OF SAID LANDS, 127.62' TO AN IRON BAR FOUND; THENCE S82°53'41"E, CONTINUING ALONG SAID SOUTH LINE, 148.62' TO AN IRON BAR FOUND; THENCE S39°03'51"E, CONTINUING ALONG SAID SOUTH LINE, 260.15' TO AN IRON BAR FOUND; THENCE S73°55'35"E, CONTINUING ALONG SAID SOUTH LINE, 138.95' TO AN IRON BAR FOUND; THENCE S67°41'54"E, CONTINUING ALONG SAID SOUTH LINE, 108.37' TO AN IRON BAR FOUND; THENCE S46°28'04"E, CONTINUING ALONG SAID SOUTH LINE, 345.19' TO AN IRON BAR FOUND; THENCE S46°54'03"E, CONTINUING ALONG SAID SOUTH LINE, 192.26' TO AN IRON BAR FOUND; THENCE S1°05'17"W, ALONG THE WEST LINE OF SAID LANDS, 158.39' TO THE PLACE OF BEGINNING, SAID PARCEL CONTAINS 15.84 ACRES MORE OR LESS.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCES OF THE CITY OF HARTFORD IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 29th DAY OF SEPTEMBER, 2016.



KENNETH B. MEHRING  
PROFESSIONAL LAND SURVEYOR



**OWNER'S CERTIFICATE**

AS OWNERS, WE, PREMIER BIRCH CROSSING, LLC., HEREBY CERTIFY THAT WE HAVE CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON.

AS OWNERS, WE FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

1.) THE CITY OF HARTFORD

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

NAME: \_\_\_\_\_

NAME: \_\_\_\_\_

STATE OF \_\_\_\_\_ ) ss  
COUNTY OF \_\_\_\_\_ )

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016

THE ABOVE NAMED \_\_\_\_\_ TO ME  
KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND  
ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

Instrument drafted by Kenneth B. Mehring, P.L.S. #2838

DATE 9/29/2016  
SHEET 5 OF 6  
JOB#16-0003

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CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 10  
NORTH, RANGE 18 EAST, CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN.

**CERTIFICATE OF CITY TREASURER APPROVAL:**

THERE ARE NO UNPAID TAXES OR SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS CSM

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

\_\_\_\_\_  
DAWN TIMM  
CITY TREASURER

**CERTIFICATE OF PLAN COMMISSION APPROVAL:**

APPROVED BY THE PLAN COMMISSION OF THE CITY OF HARTFORD BY RESOLUTION NO. \_\_\_\_\_

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

\_\_\_\_\_  
TIM MICHALEK  
MAYOR

\_\_\_\_\_  
LORI HETZEL  
CITY CLERK

**CERTIFICATE OF CITY COUNCIL APPROVAL:**

APPROVED BY THE COMMON COUNCIL OF THE CITY OF HARTFORD BY RESOLUTION NO. \_\_\_\_\_

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

\_\_\_\_\_  
TIM MICHALEK  
MAYOR

\_\_\_\_\_  
LORI HETZEL  
CITY CLERK

