

Notice and Agenda
Hartford City Plan Commission
Special Meeting

Date: September 12, 2016

Time: 5:30 p.m.

Common Council Chambers
Lower Level City Hall - 109 North Main Street

Please note 5:30 p.m. starting time

1. Call to Order
2. Minutes of August 8, 2016 (pp. 1 – 4)
3. Appearances
4. Sign Permit Review: Carpenter Technology, 71 N. Main Street (pp. 5 – 9)
5. Public Hearing for Proposed Creation of TID #10, Proposed Boundaries, and Proposed Project Plan (pp. 10 – 48)
 - a. Opening of Hearing
 - b. Reading of Public Notice
 - c. Staff Review: TID #10
 - d. Appearances in Favor
 - e. Appearances in Opposition
 - f. Closing of Hearing
 - g. Discussion by Plan Commission
 - h. Official Action Regarding TID #10
6. Review of a Rezoning Request for 220 Union Street (pp. 49 – 58)
7. Site Plan Review for Birch Crossing Apartments, Located North of the Current Terminus of Liberty Avenue (pp. 59 – 89)
8. Adjournment

Color Renderings:
Carpenter Technology Sign, 71 N. Main Street
Draft Project Plan, TID 10
Birch Crossing Site Plan

“Persons with disabilities requiring special accommodations for attendance at the meeting should contact City Clerk at least one (1) business day prior to the meeting.”

“Members of the Common Council may attend the above meeting. Pursuant to State ex. rel. Badke v. Greendale Village Board, 173 Wis.2d 553, 494 N W 2d 408 (1993) such attendance may be considered a meeting of the Common Council. This notice is given so that members of the Common Council may attend the meeting without violating the open meeting law.”

PLAN COMMISSION
City of Hartford
August 8, 2016

PRESENT: Chairperson Michalak, Members Stapleton, Regan, Henke

ABSENT: Member Kuepper, Alderperson Liaison Jewell

ALSO PRESENT: City Planner Justin Drew

Call to Order – Chairperson Michalak called the meeting to order at 5:30 p.m. in the Common Council Chambers of Hartford City Hall, 109 N. Main Street.

Minutes – Motion by Henke, second by Regan approving the minutes of July 11, 2016. Motion carried.

Appearances – There were no appearances.

Election of Vice-Chair – Chairperson Michalak requested nominations or volunteers for the Vice-Chair of the Plan Commission. Member Regan volunteered. Motion by Henke, second by Anderek approving the election of Dennis Regan as Vice-Chairperson. Motion carried.

Sign Review: Furnish Traders, 31 N. Main Street

Executive Summary Review:

Alixee Rheeve submitted an application for a sign for her business, Furnish Traders, at 31 N. Main Street. At the front of the building, two window signs are placed at the front windows on either side of the entry door. The window signs include lettering including the business name and ‘consigned home furnishings’, and a logo consisting of an item of furniture in a circle. The window signs are white, with no border, and take up less than the 50% maximum coverage allowed. The second sign will replace the ‘Donation Center’ roof sign at the back of the building. The sign measures 4 feet by 10 feet. The building is approximately 36 feet long, so the sign is well within the 108 square feet maximum allowed for the B-3 district. The sign is comprised of dark-stained cedar boards with the same white lettering and logo as the front sign painted on. The two pieces of anchoring hardware on the current sign will be replaced with three metal angle brackets screwed into the wood rafters that hold up the roof. The applicant also intends to paint the back entryway and window trim in a lighter color to freshen the back area. Planning Staff recommended approval of the Furnish Traders sign.

Plan Commission Discussion, Furnish Traders Sign:

Mr. Drew reviewed the executive summary. Chairperson Michalak requested discussion. There was no discussion. Motion by Henke, second by Stapleton approving the Furnish Traders sign. Motion carried.

Conditional Use Permit Public Hearing for a Planned Unit Development at Riverview Commons, Located North of the Current Terminus of Liberty Avenue

Executive Summary Review:

The Common Council approved the Annexation Petition and assigned a temporary zoning of Rm-3 in July, 2016. Premier Real Estate Management has submitted a plan for seven 12-unit buildings. The property is zoned Rm-3 Multi-Family Residential. Multi-Family buildings of this size are allowed in the Rm-3 Multi-Family Residential District as a Conditional Use (up to 24 unit buildings can be approved). The Rm-3 Multi-Family District requires 2,074 square feet per dwelling unit. The proposed average area per multi-family unit is approximately 7,160 ft² for the property. Common areas, including yards and parking lots shall be maintained by the owner. The Developer has not requested reduced setbacks as part of the PUD. The Development Plan meets the standard 25-foot street-yard and 20-foot sideyard setbacks. In addition, the structures must be separated by at least 20 feet. A minimum 50-foot building separation is proposed. The sum total of the first floor of the principal building and all accessory buildings shall not exceed 25% and the lot coverage proposed for the seven apartment buildings is approximately 17% of the 15-acre site. Staff believes that the scale of the proposed 12-unit buildings (14,400 square feet) is appropriate in this area given the separation of the proposed buildings to surrounding development (at least 240 feet), and the scale of the commercial development to the south (Wal-Mart). The Planning Staff recommended approval of a Conditional Use Permit for a Planned Unit Development for seven 12-unit buildings at Riverview Commons.

Plan Commission Public Hearing, Planned Unit Development, Riverview Commons:

Chairperson Michalak opened the public hearing and requested reading of the notice. Mr. Drew read the public hearing notice, and proceeded to review the executive summary and explain some of the points. Chairperson Michalak requested appearances in favor. Sarah Hildebrand from Premier Real Estate and Tim Lynch from Lynch and Associates appeared in favor. Mr. Lynch also noted favorable reviews by the DNR for wetland location. Chairperson Michalak requested appearances in opposition. There were no appearances in opposition. Chairperson Michalak closed the hearing and requested discussion by the Plan Commission. There was no discussion by Plan Commission members. Chairperson Michalak requested official action regarding the conditional use permit for Riverview Commons. Motion by Henke, second by Regan for approval of the conditional use permit. Motion carried.

Site Plan Review, Goeman's Rapid Mart Car Wash, 2712 East Sumner

Executive Summary Review:

Goeman's Rapid Mart seeks approval for a 4,600 square foot car wash structure north of the existing building. The property is surrounded by other commercial property to the west, east, and north, an institutional use to the east, and State Forest to the south. Goeman's Rapid Mart proposes a 4,600 square foot structure north of their existing building in an area that is currently a graveled area for semi-truck and trailer parking. The addition would house a drive-through car wash, office, break room, restroom, equipment room, and numerous vacuum stations on the south side of the building. The addition would be 25 feet tall, and would include two overhead doors on the east elevation, one overhead door on the west elevation, and numerous windows on the south elevation. The façade would be composed of manufactured stone system wainscot and columns along with horizontal vinyl siding and shake vinyl siding in the gables. The addition would be setback 109 feet from the east property line, 143 feet from the west property line, and 85 feet from the north property line and would meet applicable setback requirements (25 feet). The proposed addition would increase lot coverage to approximately 10.0% of the 3.07 acre lot, well below the 30%

allowed by Code. The plans show a drive area looping north of the building, splitting into two lanes to place an order and pay, and then looping back down through the car wash. Staff believes that this queuing pattern will work well and will clean up a dusty graveled area that is currently used for semi-truck and trailer parking. However, the new car wash area does not cover all of the graveled area. The plans do not show how this area will be used, but it would not be conducive to semi-trailer parking (it is too small for more than 1 or 2 trailers, and trucks would be backing up trailers near the car wash queue). Staff recommended that the remaining gravel area be planted in grass in order to give the proposed addition a more finished look. In addition, no landscaping plan for the car wash area was included. At a minimum, landscaping east of the drive-through queue will be required. The Developer will need to submit a landscaping plan for Staff to review. Staff believes the proposed addition location, size, and appearance are appropriate for the existing building and the area. The proposal also would create paved parking areas north of the existing building. These areas are currently gravel. 13 additional parking stalls are proposed south of the car wash structure, though these are intended primarily as car vacuuming stations. A photometric plan was not included. New accent lighting is proposed on the columns of the car wash structure. Given that the lighting is not intended to light away from the building, and the distance of the proposed building to other structures off property, Staff did not require a photometric plan, and does not anticipate any issues. The proposed additions will result in an increase of impervious surface (approximately 0.33 acre), which should not impact storm water drainage. No change in electric utility service is requested. A new 2 inch water lateral and a new sewer lateral are proposed for the car wash structure from the Kettle Moraine Road Right-of-Way. Engineering and Utility Staff are reviewing this proposal. A sampling manhole for the sanitary sewer will be required. Planning Staff recommended approval of the site plan as submitted for the Goeman's Rapid Mart Car Wash, subject to the remaining gravel area being planted in grass, submittal of a landscaping plan, and inclusion of a sampling manhole meeting City requirements.

Plan Commission Discussion, Goeman's Rapid Mart Car Wash Site Plan, 2712 E. Sumner:

Mr. Drew reviewed the executive summary, also noting that City Engineering staff are working with the owner to make sure water and sewer lateral issues are addressed. Chairperson Michalak requested discussion. Chairperson Michalak asked who will pay for the new lateral. Mr. Drew noted that the owners will pay for that. Member Henke referenced an agreement that was put in place when the property was annexed, asking if this agreement had been reviewed. Mr. Drew stated that he would check for an agreement. Chairperson Michalak agreed that a previous agreement should be reviewed, noting that he wants to help businesses, but not at ratepayers' expense. Chairperson Michalak noted that changing phosphorus regulations require more stringent monitoring and asked if these requirements have been discussed with the Goemans. Mr. Drew stated that while there has been no specific discussion with the Goemans, he has discussed monitoring requirements with Dave Piquett, director of the wastewater treatment plant. Mr. Piquett intends to monitor through the required sampling manhole. Member Anderek asked for clarification on types of vehicles going through the wash – will this include semis and large trucks? Mr. Drew replied that he did not think the walls were high enough to support semi washing, and noted that the owners were in the audience. Chairperson Michalak indicated that owners were

City of Hartford Plan Commission, August 8, 2016

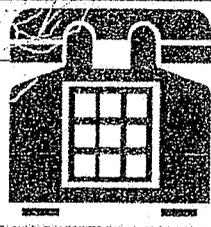
shaking their heads that wash is not intended for large trucks and trailers. Motion by Anderek, second by Stapleton to approve site plan. Motion carried.

Adjournment – Motion by Henke, and seconded by Anderek for adjournment. Motion carried. Meeting was adjourned at 5:48 p.m.

Respectfully submitted,
Justin Drew, City Planner

Compiled by Char Smelter, Planning Secretary

VOICE
DATA
VIDEO
RADIO
673-4-673



CARPENTER TECHNOLOGY

VOICE
DATA
VIDEO
RADIO
673-4-673

71

CARPENTER TECHNOLOGY
800-254-6157

CARPENTER TECHNOLOGY
800-254-6157
8/27/16



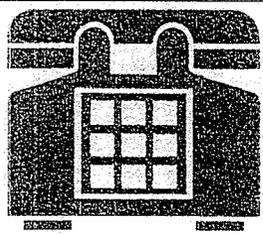
7

60"

120"

60"

36"



CARPENTER TECHNOLOGY

**VOICE
DATA
VIDEO
RADIO**
262.673.4673

240"

CITY OF HARTFORD
SIGN PERMIT APPLICATION
(PLEASE PRINT OR TYPE)

For official use only

Account #100.240.440000.44430(#79)

Fee:

Ground or Wall Sign \$100.00

Ground or Wall Sign, Changeable Copy \$150.00

PLUS: Processing Fee (Account #100.125.461100.46112) \$15.00

Date Paid: 7/28/16 Total Paid: \$115.00

Address of Subject Property: 71 N. Main Street

Tax Key Number: _____ Zoning: Commerical

Historic District? Yes No Estimated Cost: \$900.00 - \$1,000.00

Applicant Name: David Carpenter (Carpenter Technology)

Address: 71 N. Main Street

City: Hartford, State: WI. Zip: 53027

Daytime Phone: 262-673-4673 Fax: _____ Other: _____

Owner Name: AATFAB CORPORATION DBA CARPENTER TECHNOLOGY

Address: 71 N MAIN STREET

City: HARTFORD State: WI Zip: 53027

Daytime Phone: 262-751-7588 Fax: _____ Other: _____

Contractor Name: Ad-vection Media (Bob Jewell)

Address: 70 N. Johnson Street Suite #2.

City: Hartford, State: WI Zip: 53027

Daytime Phone: 262-223-1409 Fax: _____ Other: bob@ad-vection-media.com

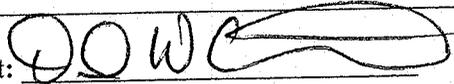
EXT: 201

Sign Permit Application
Supporting Information Required

1. Scale drawing of the proposed sign indicating dimensions, materials to be used, type of illumination (if applicable) and methods of construction and attachment. Include size and types of letters and logos, and information regarding colors to be used.
2. Scale drawings of existing signs to be retained. ↻ Continues on next page

Sign Permit Application, Supporting Information Required, Continued

- 3. Scale drawing indicating position of proposed sign in relation to building(s), other signs, and property lines, including dimensions.
- 4. Illustration of the building façade, showing location of proposed and existing signs.

Signature of Applicant:  Date: 7-25-2016

Signature of Owner (if different): _____ Date: _____
 (note: if owner is other than applicant and is unable to sign, please attach Power of Attorney or other written authorization.)

LED SIGN APPLICANTS:

Please review the following code information:

Restrictions on Changeable Copy Signs: The changeable copy portion of a ground sign shall not exceed 33% of the total area of the ground sign for all business, institutional, and industrial districts. Changeable Copy Wall signs shall be subject to district restrictions on wall sign area. Changeable copy signs are prohibited in the HAPEO Overlay District.

The display on each side of a changeable sign:

- 1) cannot change more frequently than once every six (6) seconds;
- 2) must change as rapidly as technologically practicable; the message must simply appear;
- 3) shall not be animated or flashing;
- 4) time and temperature signs are permitted so long as the display changes no more frequently than once every six (6) seconds.

As an LED Sign applicant, I understand that I must fully comply with the code restrictions described in City of Hartford Municipal Code Section 13.0613 and summarized above. I further understand that violation of the ordinance may subject me to citation and/or revocation of this sign permit.

Signature of Applicant: _____ Date: _____

Signature of Owner: _____ Date: _____

For Official Use Only

Is sign appropriate with respect to each of the following?

- Area Height Setbacks Spacing Location Design

Will the proposed work detrimentally change, destroy cover, or otherwise adversely affect any exterior architectural feature? _____

Will the proposed work adversely affect or not harmonize with external appearance of other neighboring improvements? _____

Is property located in the Hartford Historic Preservation District, or zoned B-3? _____

Plan Commission Review Date, if applicable: _____

Approval: Yes No

Approved by: _____

Conditions of Approval: _____

A RESOLUTION APPROVING THE DISTRICT BOUNDARIES AND PROJECT PLAN FOR PROPOSED
TAX INCREMENT FINANCE DISTRICT NO. 10

WHEREAS, the Plan Commission on September 12, 2016 held a public hearing to give all interested parties a reasonable opportunity to express their views on the proposed creation of TID No. 10 and establish its boundaries.

NOW THEREFORE, be it resolved as follows:

- 1) The Plan Commission recommends that the district boundaries of TID No. 10 of the City of Hartford shall be as follows:

Commencing at the Northwest corner of Lot 1 of Certified Survey Map No. 4639, Document No. 711619, Volume 31, Pages 161 and 162, and the point of beginning of this description; From the POINT OF BEGINNING; Thence, S 00° 36' 26" E for a distance of 131.90 feet; Thence, S 89° 41' 49" E for a distance of 20.04 feet; Thence, S 00° 36' 25" E for a distance of 21.22 feet; Thence, S 89° 42' 45" E for a distance of 252.53 feet; Thence, N 00° 31' 34" W for a distance of 7.79 feet; Thence, S 89° 42' 45" E for a distance of 20.00 feet; Thence, N 00° 31' 22" W for a distance of 5.21 feet; Thence, S 89° 42' 45" E for a distance of 118.37 feet; Thence, S 00° 29' 08" E for a distance of 13.00 feet; Thence, S 89° 42' 45" E for a distance of 510.08 feet; Thence, N 00° 31' 51" W for a distance of 2.73 feet; Thence, S 62° 30' 00" E for a distance of 110.61 feet; Thence, S 54° 30' 09" E for a distance of 130.05 feet to a point along the West line of N. Grand Avenue; Thence, S 05° 46' 08" W for a distance of 172.74 feet along said West line to a point along the North line of Park Avenue; Thence, N 87° 41' 33" W for a distance of 156.68 feet along said North line; Thence, N 82° 28' 44" W for a distance of 300.00 feet; Thence, N 69° 18' 43" W for a distance of 180.00 feet; Thence, N 86° 18' 43" W for a distance of 95.00 feet; Thence, N 86° 20' 43" W for a distance of 217.23 feet; Thence, N 00° 58' 35" W for a distance of 9.20 feet; Thence, N 78° 33' 59" W for a distance of 10.50 feet; Thence, S 00° 36' 27" E for a distance of 21.50 feet to a point along the North line of E. Jackson Street; Thence, S 89° 28' 25" W for a distance of 49.50 feet along said North line; Thence, S 00° 36' 24" E for a distance of 49.50 feet; Thence, S 00° 36' 23" E for a distance of 195.13 feet along the West line of Mill Street; Thence, N 89° 56' 34" E for a distance of 49.50 feet; Thence, N 89° 56' 35" E for a distance of 376.07 feet; Thence, S 00° 07' 26" E for a distance of 105.82 feet; Thence, S 00° 00' 00" W for a distance of 199.52 feet to a point on the South line of E. Sumner Street; Thence, N 89° 39' 22" W for a distance of 167.24 feet along said South line; Thence, N 75° 46' 41" W for a distance of 51.06 feet; Thence, S 89° 28' 23" W for a distance of 156.47; Thence, N 00° 36' 50" W for a distance of 66.00 feet to a point on the North line of East Sumer Street; Thence, N 00° 36' 24" W for a distance of 75.00 feet along the West Line of Mill Street; Thence, S 89° 28' 27" W for a distance of 115.00 feet; Thence, S 00° 36' 21" E for a distance of 75.00 feet to a point on the North line of E. Sumner Street; Thence, S 89° 28' 25" W for a distance of 16.00 feet along said North Line; Thence, N 00° 36' 23" W for a distance of 165.00 feet; Thence, S 89° 29' 04" W for a distance of 1.00 feet; Thence, N 00° 36' 24" W for a distance of 257.00 feet to a point on the South line of E. Jackson Street; Thence, S 89° 28' 26" W for a distance of 165.00 feet along said South line, to a point along the West line of N. Main Street; Thence, N 00° 36' 23" W for a distance of 213.73 feet along said West line; Thence, N 84° 40' 55" W for a distance of 110.13 feet; Thence, N 47° 18' 07" W for a distance of 139.86 feet; Thence, N 85° 58' 21" W for a distance of 0.35 feet; Thence, N 00° 00' 00" E for a distance of 25.70 feet; Thence, N 90° 00' 00" W for a distance of 14.24 feet; Thence, N 89° 59' 42" W for a distance of 54.79 feet to a point on the West line of N. Johnson Street; Thence, N 00° 36' 24" W for a distance of 59.31 feet along said West line; Thence, N 00° 41' 35" W for a distance of 49.50 feet; Thence, N 00° 29' 16" W for a distance of 36.31 feet; Thence, N 00° 40' 28" W

for a distance of 64.74 feet; Thence, N 00° 34' 42" W for a distance of 155.46 feet along the West line of N. Johnson Street; Thence, N 00° 41' 37" W for a distance of 49.49 feet; Thence, N 89° 11' 44" E for a distance of 49.50 feet; Thence, N 89° 11' 47" E for a distance of 297.00 feet along the North line of W. State Street to a point on the East line of N. Main Street; Thence, S 00° 36' 23" E for a distance of 55.82 feet; Thence, S 00° 36' 24" E for a distance of 132.01 feet along the East line of N. Main Street; Thence, N 88° 51' 25" E for a distance of 165.01 feet; Thence, N 88° 51' 24" E for a distance of 66.00 feet; Thence, N 88° 51' 27" E for a distance of 66.00 feet; Thence, N 88° 25' 22" E for a distance of 62.01 feet; Thence, S 00° 36' 23" E for a distance of 218.86 feet to a point on the South line of E. Wisconsin Street; Thence N 84° 44' 13" W a distance of 241.27 feet along said South line to the POINT OF BEGINNING, containing 715,419.83 square feet (16.42 acres more or less).

- 2) The Plan Commission has reviewed the project plan and approved of the same as it meets all statutory criteria and is feasible and in conformity with the 2030 Smart Growth Plan of the City and recommends that it be adopted by the Common Council.

Signed:

Timothy C. Michalak, Mayor
City of Hartford Plan Commission

Introduced: September 12, 2016

Adopted: September 12, 2016

Attest:

J. Justin Drew, Secretary
City of Hartford Plan Commission

Publish in the Washington County Daily News:
August 26, 2016
September 2, 2016

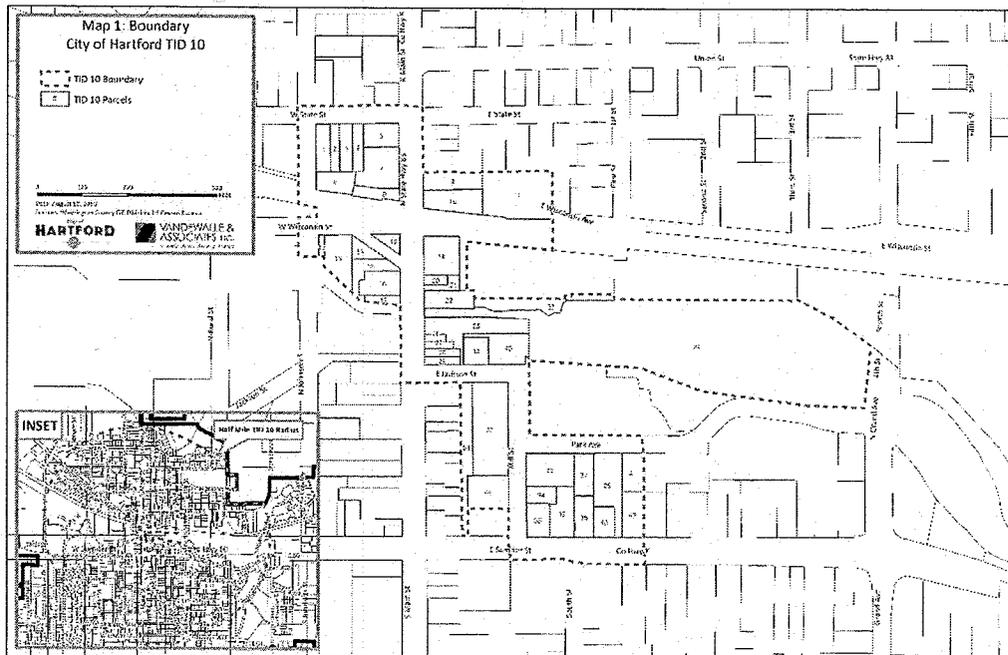
NOTICE OF PUBLIC HEARING
CITY OF HARTFORD, WISCONSIN
PLAN COMMISSION

PLEASE TAKE NOTICE that a PUBLIC HEARING will be held at 5:30 p.m. or thereafter on September 12, 2016 in the Common Council Chambers at the lower level of City Hall, 109 North Main Street, by the City of Hartford Plan Commission on the proposed creation of a Tax Incremental District (TID) Number 10 (Ten), City of Hartford, Wisconsin, the proposed boundaries thereof, and the proposed project plan for the District.

The project plan's project costs for the proposed TID 10 (Ten) include *cash grants made by the City to owners, lessees, or developers of land that is to be located within the district.* The purpose of the public hearing is to hear those persons who wish to express their opinions for or against the creation of the district, the boundaries of the district, and the project plan.

A map and legal description of the district and the project plan can be viewed at the Department of Planning & Zoning by appointment, 109 North Main Street, Monday – Friday between the hours of 7:30 a.m. and 4:30 p.m. A copy will be provided by request.

The Proposed TID 10 (Ten) boundary is shown in the following Map:



Dated this 26th day of August, 2016.

Lori Hetzel
City Clerk
City of Hartford

Clerk's Certification of Mailing

For Tax Incremental Districts, the Wisconsin Department of Revenue requires public hearing notices be sent at least 15 days before the public hearing.

Therefore, this is to certify that mailings for the Tax Incremental District #10 public hearing notice were mailed August 23, 2016 to all property owners in the proposed TID #10. The Plan Commission Public Hearing is scheduled for September 12, 2016. The mailing included a cover letter, map, public hearing notice and list of tax key numbers.

A handwritten signature in black ink, appearing to read "Lori Hetzel", is written over a horizontal line.

Lori Hetzel
Clerk, City of Hartford
8/23/2016

Attachments: Notice of Public Hearing, Plan Commission, TID#10; Mailing List; Copies of postmarked envelopes

2001-015-005
John Ohrmund, c/o HCDA
109 N. Main Street
Hartford, WI 53027

2001-015-004+
Hartford Main & State LLC
c/o Brayton Management Company
18900 W. Bluemound Road Suite 212
Brookfield, WI 53045

2001-015-003+
James & Heidi Schaefer
N4644 St. John Road
Rubicon, WI 53078

2001-015-014+
City of Hartford
109 N. Main Street
Hartford, WI 53027

2012-005-004+
PSD LLC/John J. Doll
212 N. Main Street
Hartford, WI 53027

2001-006-005
City of Hartford Electric Utility
109 N. Main Street
Hartford, WI 53027

2001-006-004
Bonnie Hanrahan
1780 Lakeview Blvd. N
North Fort Myers, FL 33903

2001-006-003
Steven Cypher
433 Third Street
Hartford, WI 53027

2001-006-002
Linda Dallman/Bobby Hunt
1164 Gulf Blvd.
Treasure Island, FL 33706

2001-006-007
Eleven 99 Properties LLC
127 N. Main Street
Hartford, WI 53027

2102-003-004
Dean and Mary Kirley
609 Fairview Drive
Hartford, WI 53027

2102-002-008
Irish Development LLC
2466 Lough Lane
Hartford, WI 53027

2102-003-009
Edward and Vickie Larsen
6714 CTH Q
Hartland, WI 53029

2102-003-010
Kenneth & Sharon Leitner
519 Tahoe Lane
Hartford, WI 53027

2102-003-011
Daffy Properties LLC
6255 STH 144 S
West Bend, WI 53095

2102-002-003
Joose Commercial LLC
6082 Log House Road
Hartford, WI 53027

2102-002-004+
Landmark Credit Union
5445 S. Westridge Drive
New Berlin, WI 53151

2102-002-007
Christine DeLong TOD
4434 Foxboro Court
Slinger, WI 53086

2102-002-011
Janice Hatch
30 Mill Street
Hartford, WI 53027

2102-002-012+
Thomas Masters
5488 Pleasant Hill Road
Hartford, WI 53027

2102-002-048
Anthony Groll/Carrie Bristoll-Groll
3844 E. Van Norman Avenue
Cudahy, WI 53110

2102-002-044
Frank Properties I LLC
108 E. Sumner Street
Hartford, WI 53027

CITY OF HARTFORD

TAX INCREMENT DISTRICT #10

Joint Review Board Initial Review DRAFT

September 6, 2016

Prepared by:



VANDEWALLE &
ASSOCIATES INC.
Madison . Milwaukee

ACKNOWLEDGEMENTS

Hartford Common Council

Timothy C. Michalak, Mayor
Doug Carroll, 2nd District
Dennis Hegy, 2nd District
Robert Jewell, 1st District
Joe Kohler, 1st District
Rachel Mixon, 3rd District

Randy Meyer, 1st District
Roger Randolph, 3rd District
Wayne Rusniak, 2nd District
Barry Wintringer, 3rd District, Council
President

Hartford Plan Commission

Mayor Tim Michalak, Chairperson
Justin Drew, Director of Community
Development
Robert Jewell, Alderperson
Jason Schall, City Engineer

Tony Andereck
Scott Henke
Ralph Kuepper
Dennis Regan
Tom Stapleton

Hartford City Staff

Mayor Tim Michalak
Steve Volkert, City Administrator
Julie Hanrahan, Administrative Assistant
Ian Prust, City Attorney
Justin Drew, Director of Community Development
Lori Hetzel, City Clerk
Jason Schall, City Engineer

Independent Registered Municipal Advisor

Hutchinson, Shockey, Erley & Co.
1110 N. Old World 3rd Street, Suite 630
Milwaukee, WI 53203
(414) 298-9898
<http://www.hsemuni.com/>

Planning Assistance Provided by:

Vandewalle & Associates
120 East Lakeside Street
Madison, WI 53715
(608) 255-3988
www.vandewalle.com

247 Freshwater Way, Suite 530
Milwaukee, WI 53204
(414) 988-8631

Jolena Presti, AICP – Principal, Project Manager
Jeff Maloney – Principal Designer
Jorian Giorno - Associate Planner
Dan Johns, AICP – Assistant Planner
Dan Eckberg – GIS Specialist

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EXECUTIVE SUMMARY

Project Background

The City of Hartford proposes to create Tax Increment District #10 (TID #10) in the central part of the City's corporate limits. Several older clusters of commercial and residential parcels and uses are located in the area between W State Street, N Johnson Street, Fourth Street, and E Sumner Street, and the City seeks to capture future growth in these areas in order to finance necessary public improvements and offer redevelopment incentives for aging, vacant or outmoded parcels within the District.

The proposed boundaries of TID #10 includes approximately 8.45 total non-wetland acres of older commercial and residential uses. While many parcels are actively used, others exhibit physical conditions of deterioration, need for rehabilitation and/or conservation, and vacancy that negatively impact property values. The District is proposed to be designated as in need of rehabilitation or conservation work, as defined by Wis. Stat. §66.1337(2m)(a), which provides a lifespan of up to 27 years and a 22-year spending period.

In accordance with the 2015 *Hartford Downtown Economic Opportunity Analysis and Strategic Development Plan* the City is exercising the opportunity to utilize all appropriate tools at its disposal to stimulate redevelopment at catalytic site and provide financing for public and private improvements downtown by capturing new incremental value within the boundaries of a new, fairly compact TID that includes both properties in need of longer term rehabilitation or conservation, and those with more immediate redevelopment value and potential. Targeted acquisition and redevelopment of city-owned land and other available parcels in the District and within one-half mile of its boundaries may, in the short term, generate increment that may be used to construct new public infrastructure, offset extraordinary redevelopment costs and provide incentives for business improvements and expansion, in addition to promoting orderly and robust economic development in the coming years.

This Project Plan for TID #10 has been prepared in compliance with Wis. Stat. §66.1105. The Project Plan establishes the need for the District, lists proposed public improvements, provides an estimated time schedule for completion of priority projects, and their estimated costs. This Project Plan is to be adopted by resolution by the Common Council on recommendation of the City Plan Commission as the official plan and guide for public and private sector development within the boundaries of TID #10.

Implementation of the Project Plan and construction of the public improvements listed will require a case-by-case authorization by the Common Council. Public expenditures for projects listed in the Project Plan should and will be based on market conditions and the status of development at the time a project is scheduled for construction. The Common Council is not mandated to make the public expenditures described in this plan, but is limited to the types of expenditures listed herein. Changes to the types of projects will require a formal amendment to the Project Plan with public review (including meetings with the Joint Review Board and Plan Commission public hearing) and Common Council approval. Redistribution of project costs within the budget estimates will not require an amendment to the plan, provided that the projects meet the purpose and intent of the District.

As required by Wis. Stat. §66.1105(4)(f), a copy of this Project Plan will be submitted to the Department of Revenue and used as the basis of their certification of Tax Increment District #10 in the City of Hartford.

Type of District, Size and Location

The TID is proposed to be created as an In Need of Rehabilitation or Conservation District as defined by Wisconsin Statutes Section 66.1337(2m)(a), which provides a lifespan of up to 27 years and a 22 year spending period. The District is comprised of 44 parcels, totaling approximately 8.45 non-wetland acres. Within the Property Conditions Assessment found in Appendix A to this Plan the City has identified those properties within the District that meet the in need of rehabilitation or conservation criteria supporting that designation. As of January 1, 2016, the base value of the land, improvements and personal property located within the District was \$4,603,000.

Estimated Total Project Expenditures

The purpose of the TID is to provide the necessary public infrastructure improvements and incentives needed to promote rehabilitation or conservation, encourage economic development, and increase property values. This Plan is written to provide funding for infrastructure improvements and other expenditures aimed at stimulating and enhancing economic development opportunities within the City of Hartford. During the 22-year expenditure period permitted under the Tax Increment Law, a total of \$5,216,200 in project costs, including finance charges and interest, is proposed.

The City expects to evaluate and use several alternative financing methods for the projects in order to provide overall lower costs of financing, preserve debt capacity, mitigate risk to the City, and provide other advantages as determined by the Common Council. The Common Council is not mandated to make the public expenditures in this plan. The public expenditures are an itemization of eligible project costs that the City may undertake as well as a guide for the Plan Commission and Common Council to assist them in the decision-making process for public expenditures. Redistribution of project costs within the total budget estimate will not require amendments to the plan, provided that the project meets the purpose and intent of TID #10.

Economic Development

As a result of the creation of this District, the City estimates that additional land and improvements value of approximately \$12.7 million (in 2016 dollars) may be created as a result of development and appreciation in the value of the existing properties. Section VII of this Plan provides detailed assumptions as to the timing of new development and associated values. In addition, creation of the District is expected to result in other economic benefits as detailed in the Summary of Findings hereafter.

Expected Termination of District

Based on the Economic Feasibility Study located in Section VII of this plan, this District is expected to generate sufficient tax increments to recover all project costs by the year 2044, within the 27-year maximum life of this District.

Summary of Findings

As required by Wis. Stat. §66.1105, and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

1. That "but for" the creation of this District, the development projected to occur as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City.

- To support development within the District the City will need to make a substantial investment to pay for the costs of necessary public infrastructure and to close financing gaps as needed to make private development economically feasible. Due to extensive investment required, the City has determined that development of the area will not occur solely as a result of private investment. Accordingly, the City finds that absent the use of TIF, development of the area as described in the Plan is unlikely to occur.
2. The economic benefits of the Tax Increment District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements. In making this determination, the City has considered the following information:
 - As demonstrated in the Economic Feasibility Section of this Project Plan (see Section VII), the tax increments projected to be collected are expected to be sufficient to pay for the proposed project costs and provide a surplus of approximately \$2,440,000.
 - Redevelopment and/or expansion projects are expected to occur sporadically throughout the life of the District. Any increment generated by new residential, commercial or industrial construction may provide additional funding for infrastructure and development incentives.
 3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.
 - If approved, the District's creation would become effective for valuation purposes as of January 1, 2017. As of this date, the values of all existing development would be frozen and the property taxes collected on this base value would continue to be distributed amongst the various taxing entities as they are now. Taxes levied on any additional value established within the District due to new construction, renovation or appreciation of property values occurring after January 1, 2017, would be collected by the TID and used to repay the costs of TIF-eligible projects undertaken within the District.
 - Since the development expected to occur is subject to extraordinary site and other costs and requires significant improvements to public infrastructure, it is unlikely to take place or in the same manner or timeframe without the use of TIF. Because the District will generate economic benefits that are more than sufficient to compensate for the cost of the improvements, the City reasonably concludes that the overall benefits of the District outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the "but for" test is satisfied, there would, in fact, be no foregone tax increments to be paid in the event the District is not created. As required by Wis. Stat. §66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been made and can be found in Appendix B of this plan.
 4. The improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District.
 5. The equalized value of taxable property of the District, plus the value increment of all existing tax increment districts within the City, does not exceed 12% of the total equalized value of taxable property within the City.

6. More than 50%, by area, of the real property within the District is in need of rehabilitation or conservation work, as defined in Wis. Stat. § 66.1337(2m)(a).
7. While areas of the District are deemed suitable for mixed-use development under the Comprehensive Plan, no newly platted residential uses are anticipated within the District. Any such development will comprise less than 35% of land area within the District as required by Wis. Stat. 66.1105(2)(cm).
8. The City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wis. Stat. §66.1105(5)(b) and 66.1105(6)(am)1.
9. The Project Plan for the District is economically feasible and is in conformity with the Comprehensive Plan of the City.

I. INTRODUCTION

Wisconsin's Tax Increment Financing Law was created in 1975, in response to a general economic downturn (the mid-1970's recession). The purpose of the law is to help cities and villages rehabilitate blighted areas and improve or develop business, industrial, and affordable housing sites. In creating tax increment financing, the State Legislature expressed its concern that cities and villages had neither the incentive nor the financial resources necessary to carry out programs which had previously been authorized by the State for these purposes. The specific Declaration of the State Legislature included findings:

“that the existing system of allocating aggregate property tax revenues among tax levying municipalities had resulted in significant inequities and disincentives. The cost of public works or improvements within a city had been borne entirely by the city while the expansion of tax base which is stimulated, directly or indirectly, by such improvements, benefits not only the city but also all municipalities which share such tax base. This situation is inequitable [and] ... has resulted in the postponement or cancellation of socially desirable projects... The purpose of [the Tax Increment Financing Law] is to create a viable procedure by which a city, through its own initiative and efforts, may finance projects which will tend to accomplish these laudable objectives. Establishing a tax increment system is in all respects for the benefit of the people of this State to serve a public purpose in improving and otherwise promoting their health, safety, welfare and prosperity.”

Wisconsin's Tax Increment Law gives the City the authority, under certain conditions, to designate specific areas within its boundaries as Tax Increment Districts (TIDs), and requires the preparation of Project Plans to develop or redevelop the Districts. The City may then use all extra taxes generated by the increased property value of such development or redevelopment to pay for eligible costs which are incurred to improve the Districts. This law assumes that all governmental units which tax properties within Tax Increment Districts eventually will benefit from the increased value which will be generated. In the meantime, because it is developing the improvements, the municipality which created the Districts is allowed to retain the increased taxes generated during the existence of the Districts to pay for the cost of the public improvements.

Wisconsin law places certain limitations upon the creation of TID's. In general, only whole parcels of property which are contiguous can be included within the District. In addition at least 50% of the real property in a District (excluding road right of way and conservancy areas) must be blighted, in need of rehabilitation or conservation work, suitable for industrial sites, or suitable for two or more mixed uses (industrial, commercial, or residential).

TID's must also involve improvements likely to enhance significantly the value of substantially all the other real property in the District. Project costs must relate directly to eliminating blight, rehabilitation, conservancy, or the promotion of industrial, commercial, or residential development. Before a TID is created, a Joint Review Board (JRB) comprised of representatives of authorities having the power to levy taxes in the District must approve the municipality's action creating the District.

II. DESCRIPTION OF HOW TAX INCREMENT DISTRICT #10 WILL PROMOTE THE ORDERLY DEVELOPMENT OF THE CITY OF HARTFORD

Tax Increment District #10 has been created for the purpose of promoting the orderly development of this area in the City of Hartford. The District allows the City to purchase, prepare and redevelop available parcels in the area, and provide economic development incentives to retain and expand existing businesses, while also attracting new firms. The District will also help to finance critical road, utility and parking improvements needed to service the surrounding area.

Based on work performed as part of the Downtown Strategic Development Plan commissioned by the Hartford Area Development Corporation (HADC) in fall 2015 and the City's ongoing implementation activities, a number of rehabilitation and redevelopment projects are currently being considered in the District. While some of these are still somewhat speculative, others appear to have a high potential for moving ahead very soon or already have been started. These projects include: the proposed hotel on parcels 33-42; mixed use retail and residential developments on parcels 1-8, 11, 12-18, and 19-21; a brewery and restaurant in a historic rehabilitation of the Millstream Building on parcel 22, and potential rehab of other commercial parcels throughout the District (see Table 3 in Section VII for detailed value increment assumptions and estimated timing).

While not all of these may require some form of TIF assistance, all of them are likely to generate tax increment that would provide revenue to the District right away that could be used to help fund some of the planned public improvements that would serve the hotel and other expected redevelopment sites, each of which have substantial acquisition, infrastructure and site preparation costs that often hinder the market viability of urban infill projects in many communities. Accordingly, the creation of a TIF district now would allow the City to capture the incremental growth necessary to offset these kinds of costs, allowing the catalytic projects identified in the Strategic Development Plan to move forward, and likely several others. Further, a TIF district would build on the momentum and excitement the HADC, the City, and property owners have already created and the commitments they've made to continue promoting development in the downtown.

The City has and will continue to recruit retail and other commercial business development to the community for the purposes of providing jobs with living wages, increasing the tax base, and encouraging spin-off development and consumer spending within the community. Redevelopment in TID #10 is best served by a District that specifically allocates new increment to expanding

and/or improving older structures in the District, as well as inducing new residential and commercial uses that will complement the character of the area.

III. TAX INCREMENT DISTRICT BOUNDARY DESCRIPTION AND EQUALIZED VALUES

The boundaries of TID #10 are officially designated on Map 1 and include the parcels listed in Table 1 below. The boundary includes mostly B-3 General Business District zoned property, as well as a number of Rs-5 and Rs-6 Single Family Residential Districts in the general downtown area. The District boundary covers 8.45 acres or approximately one-third of all the properties located in downtown running approximately from W State Street east to N Main Street, running south to E Wisconsin Avenue, running east to Fourth Street, running south to Park Avenue, running west to Mill Street, running south to Sumner Street, running west to N Main Street, and running north to W State Street. A full legal description of the District is in Appendix B.

As of January 1, 2016, the real and personal property in TID #10 had an equalized assessed base value of \$4,603,000, and the City's total equalized value was \$1,186,981,700. The TID #10 base value, plus \$12,584,800 in value increment in the five existing TIF districts, equals \$17,187,800 or 1.4% of the City's total. This is less than the 12% maximum currently permitted under the Tax Increment Law.

Table 1: Parcel List and Assessed Values

Map ID	Tax Key	Owner	Physical Address	Parcel Acres	Land Value 2016	Imp. Value 2016	Total Value 2016	Personal Property 2016
1	36_2001015005	JOHN H OHRMUND	37 W STATE ST	0.12	\$25,900	\$145,100	\$171,000	
2	36_2001015004	HARTFORD MAIN & STATE LLC	33-35 W STATE ST	0.08	\$13,100	\$86,600	\$99,700	
3	36_2001015003	JAMES L&HEIDI A SCHAEFER	29 W STATE ST	0.11	\$23,300	\$155,900	\$179,200	
4	36_2001015002	JAMES L&HEIDI A SCHAEFER	23-25 W STATE ST	0.09	\$16,300	\$95,800	\$112,100	
5	36_2001015016	HARTFORD MAIN & STATE LLC	225 N MAIN ST	0.15	\$45,300	\$323,700	\$369,000	\$11,100
6	36_2001015014	CITY OF HARTFORD	212 N JOHNSON ST	0.14	\$0	\$0	\$0	
7	36_2001015017	CITY OF HARTFORD	217 N MAIN ST	0.28	\$0	\$0	\$0	
8	36_2001015015	HARTFORD MAIN & STATE LLC	207-211 N MAIN ST	0.09	\$43,800	\$112,700	\$156,500	
9	36_2102005004	PSD LLC	212 N MAIN ST	0.19	\$62,400	\$109,200	\$171,600	\$20,200
10	36_2102005005	PSD LLC	206 N MAIN ST	0.23	\$50,900	\$113,000	\$163,900	
11	36_2102005007	PSD LLC	44 E WISCONSIN ST	0.57	\$57,700	\$21,300	\$79,000	
12	36_2001006009	CITY OF HARTFORD	43 W WISCONSIN AVE	0.02	\$0	\$0	\$0	
13	36_2001006005	CITY OF HARTFORD ELEC UTIL	39 W WISCONSIN ST	0.21	\$0	\$0	\$0	
14	36_2001006004	BONNIE L HANRAHAN	25 W WISCONSIN ST	0.08	\$18,700	\$82,000	\$100,700	
15	36_2001006003	STEVEN M CYPHER	135 N MAIN ST	0.13	\$31,700	\$72,500	\$104,200	
16	36_2001006002	LINDA M DALLMAN	131 N MAIN ST	0.16	\$41,500	\$101,500	\$143,000	
17	36_2001006007	ELEVEN 99 PROPERTIES LLC	127 N MAIN ST	0.05	\$8,200	\$42,400	\$50,600	\$900
18	36_2001023001	CITY OF HARTFORD	149 N MAIN ST	0.05	\$0	\$0	\$0	
19	36_CONDO543323			0.24	\$0	\$0	\$0	
19a	36_2102003004	DEAN T & MARY J KIRLEY	142 N MAIN ST	0.00	\$35,900	\$94,000	\$129,900	\$6,700
19b	36_2102003005	EDWARD & VICKIE LARSEN	140 N MAIN ST	0.00	\$51,900	\$136,900	\$188,800	8000
20	36_2102003009	EDWARD&VICKIE LARSEN	130 N MAIN ST	0.04	\$11,800	\$64,400	\$76,200	
21	36_2102003010	KENNETH L & S C LEITNER	128 N MAIN ST	0.06	\$15,600	\$80,700	\$96,300	
22	36_2102003011	DAFFY PROPERTIES LLC	120 N MAIN ST	0.16	\$48,700	\$364,100	\$412,800	
23	36_2102003016	CITY OF HARTFORD	119 FIRST ST	0.24	\$0	\$0	\$0	
24	36_2102002035	CITY OF HARTFORD	500 E SUMNER ST	1.30	\$0	\$0	\$0	
25	36_2102002001	CITY OF HARTFORD	114 N MAIN ST	0.34	\$0	\$0	\$0	
26	36_2102002003	JOOSSE COMMERCIAL LLC	110 N MAIN ST	0.03	\$8,400	\$73,900	\$82,300	
27	36_2102002004	LANDMARK CREDIT UNION	104-106 N MAIN ST	0.04	\$15,200	\$78,400	\$93,600	
28	36_2102002005	LANDMARK CREDIT UNION	102 N MAIN ST	0.05	\$15,400	\$138,500	\$153,900	
29	36_2102002006	LANDMARK CREDIT UNION	100 N MAIN ST	0.05	\$15,200	\$143,100	\$158,300	
30	36_2102002007	CHRISTINE M DELONG TOD	28 JACKSON ST	0.12	\$29,400	\$240,800	\$270,200	\$39,900
31	36_2102001017	CITY OF HARTFORD	21 E JACKSON ST	0.26	\$0	\$0	\$0	
32	36_2102001015	CITY OF HARTFORD	23 JACKSON ST	0.58	\$0	\$0	\$0	
33	36_2102002011	JANICE H HATCH	30 MILL ST	0.28	\$38,800	\$118,400	\$157,200	
34	36_2102002012	THOMAS J MASTERS	24 MILL ST	0.09	\$14,700	\$0	\$14,700	
35	36_2102002013	THOMAS J MASTERS	54 E SUMNER ST	0.14	\$6,100	\$0	\$6,100	
36	36_2102002014	THOMAS J MASTERS	62 E SUMNER ST	0.20	\$29,400	\$0	\$29,400	
37	36_2102002047	CITY OF HARTFORD	PARK AVE	0.14	\$0	\$0	\$0	
38	36_2102002048	ANTHONY W GROLL	100 E SUMNER ST	0.14	\$42,700	\$107,400	\$150,100	
39	36_2102002043	CITY OF HARTFORD	105 PARK AVE	0.30	\$0	\$0	\$0	
40	36_2102002044	FRANK PROPERTIES I LLC	108 E SUMNER ST	0.12	\$35,800	\$46,200	\$82,000	\$4,400
41	36_2102002046	CITY OF HARTFORD	113 PARK AVE	0.15	\$0	\$0	\$0	
42	36_2102002045	THOMAS J MASTERS	116 E SUMNER ST	0.17	\$27,800	\$0	\$27,800	
43	36_2102002008	IRISH DEVELOPMENT LLC	46 E JACKSON ST	0.23	\$52,100	\$421,600	\$473,700	\$8,000
44	36_2102001014	CITY OF HARTFORD	27 MILL ST	0.24	\$0	\$0	\$0	
TOTAL				8.45	\$933,700	\$3,570,100	\$4,603,800	\$99,200
					2016 Base Value		\$4,603,000	

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Map 1: Boundary



IV. EXISTING USES AND CONDITIONS OF REAL PROPERTY

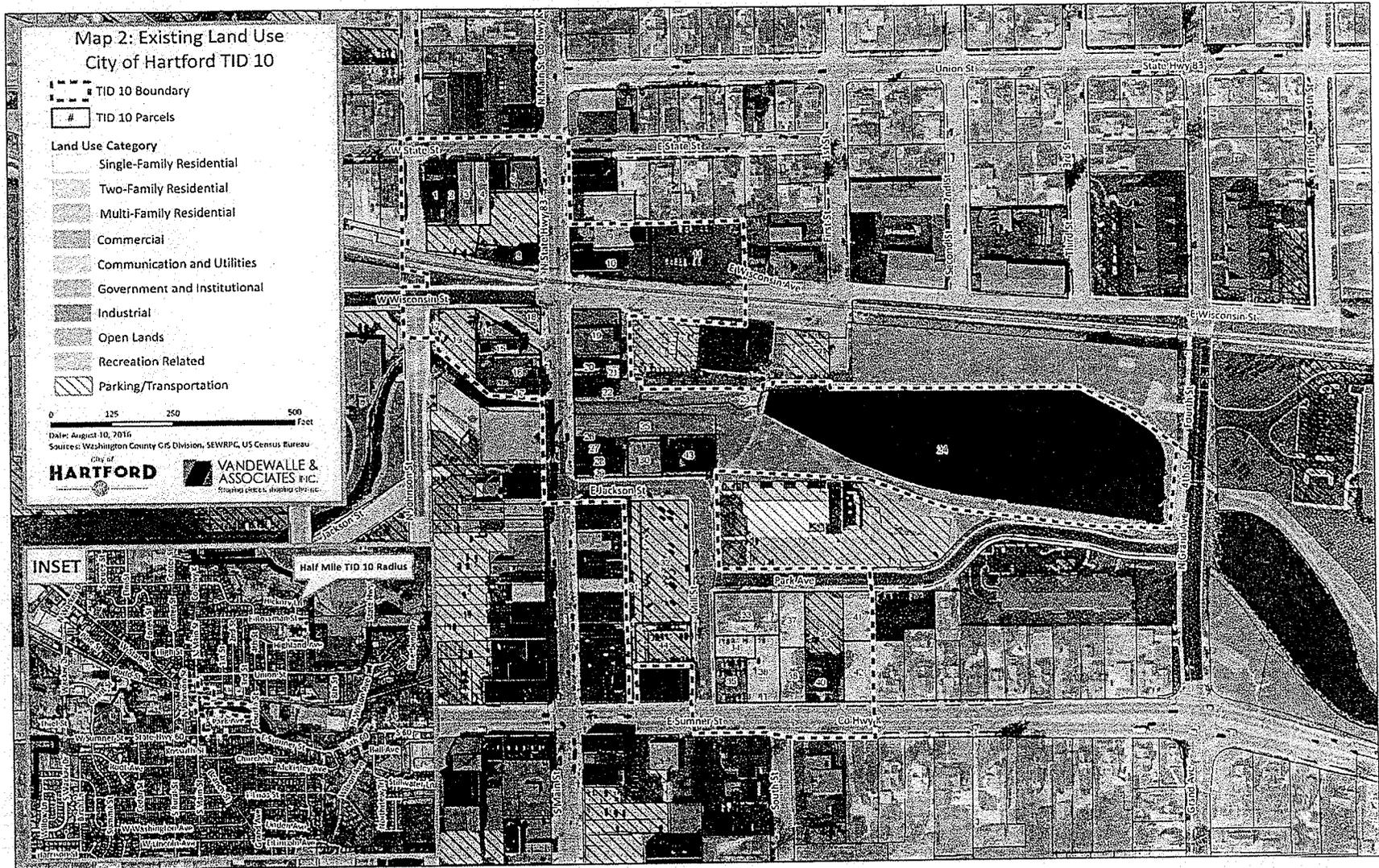
Map 2 depicts existing land uses for the District. Lands within the District are predominantly used for Commercial purposes as is typical of a downtown district. Many of these commercial properties include second story apartment units in addition to first floor retail spaces. A small number of Single and Two-Family Residential properties are also part of the District in addition to approximately 1.25 acres of Recreation Related lands. The District is adjacent to Single and Two-Family Residential uses to the north and south and commercial and recreational uses to the west and east.

Map 3 reflects current zoning designations within TID #10, comprised of a mix of Single and Multifamily, General Business and Institutional districts. The *City of Hartford 2030 Smart Growth Plan* allows the City to rezone property when and if demand for rezoning takes place in order to maintain compatibility with the Future Land Use Map.

While areas of the District are deemed suitable for mixed-use development under the Comprehensive Plan, no newly platted residential uses are anticipated within the District. Any such development will comprise less than 35% of land area within the District as required by Wis. Stat. 66.1105(2)(cm).

More than 50%, by area, of the real property within the District (5.01 of 8.45 acres, or 59.3%) is in need of rehabilitation or conservation work, as defined in Wis. Stat. § 66.1337(2m)(a). A parcel-by-parcel assessment of conditions meeting statutory criteria is shown in Appendix A.

Map 2: Existing Land Use





Map 3: Zoning



V. PROPOSED PUBLIC WORKS AND OTHER PROJECTS AND ESTIMATED COSTS

Per the Joint Review Board's approval of this TID #10 Project Plan, the total level of authorized spending on direct project costs for TID #10 will be \$4,108,000 exclusive of interest and finance charges, to facilitate growth and development over the District's 27-year life. As shown on Tables 6 and 7 in Section VII, the City anticipates additional interest and finance charges of approximately \$1,108,200 for total expenditures of \$5,216,200.

Below are descriptions of the major public improvement categories, which are necessary and standard improvements for eliminating blight and promoting redevelopment of blighted areas or those in need of rehabilitation or conservation work. In addition to a general description, each category contains a list of the following types of proposed expenditures. These project expenditures are listed in Table 2, and their general locations shown on Map 5.

Priority Expenditures are those that the City intends, but is not required, to undertake based on the projected tax increments to be received from the future redevelopment projects described in Section VII.

Expenditures within a half-mile are those priority projects, or portions thereof, that may occur within one-half mile of the District boundary per Wis. Stat. §66.1105(2)(f)1.n. and are shown in the descriptions below with an asterisk (*). In most cases, projects outside of the District boundary are incidental to or extensions of projects within the boundary that continue out of the District in order to be fully complete and of the greatest benefit to the District. All other expenditures within a half-mile not specifically identified herein will require an amendment to this Project Plan and approval of the Joint Review Board.

Consistent with the goals and purposes of the District as articulated in this Project Plan, all project expenditures are intended to promote orderly development, stimulate commercial revitalization, create jobs, enhance the value of property, and broaden the property tax base of the City of Hartford and the overlying taxing jurisdictions. Below are descriptions of those projects that are considered necessary and standard costs for promoting redevelopment within the District. In addition to a general description of eligible costs, some project categories contain a list of priority projects the City intends - but is not required - to undertake based on the projected tax increments to be received from property in the District.

Implementation and construction of the proposed projects identified herein will require case-by-case authorization by the Common Council. Public expenditures for projects listed in this Project Plan should and will be based on market conditions and the status of development at the time a project is scheduled for construction. The Common Council is not mandated to make the public expenditures described in this plan. Redistribution of project costs within the total spending estimate will not require an amendment to the Project Plan provided that the expenditures meet the purpose and intent of the District as expressed in the plan. Scheduling of project activities will be monitored to ensure that the projected economic stimulation is occurring prior to proceeding with other project activities. This monitoring will occur on an annual basis. If economic conditions are not altered by the proposed project activity, other project activities may be delayed and/or removed from the project schedule. The goal of the proposed projects is to provide the public improvements and inducements necessary to attract and stimulate private reinvestment and redevelopment.

The project costs shown on Table 2 are preliminary estimates provided by the City's departments and its consultants that may be adjusted and refined. The adjustments and refinements may include changing the year in which a project activity is undertaken and reallocating the cost of specific projects within the limitation of the total estimated project costs. The City reserves the right to increase these costs to reflect inflationary increases and other uncontrollable circumstances between 2016 and the time of construction. The City also reserves the right to increase certain project costs to the extent others are reduced or not implemented without amending the Project Plan. The tax increment allocation is preliminary and is subject to adjustment based upon the implementation of this Project Plan. Other adjustments to this Project Plan will be made on the recommendation of the Plan Commission to be reviewed and acted upon by the Common Council.

1. Capital Costs*

These costs may include, but are not limited to: the actual costs of the construction of public works or improvements; new buildings, structures, and fixtures; the demolition, alteration, remodeling, repair or reconstruction of existing buildings, structures and fixtures other than the demolition of listed historic properties; the use of sustainable ("green") building features and renewable and on-site energy systems; the acquisition of equipment to service the District; the removal or containment of, and the restoration of, soil or groundwater affected by environmental pollution; the clearing and grading of land, and waterway improvements to improve navigation, recreation and water quality. Also included are on-street and off-street parking facility improvements including: repair, expansion, reconfiguration and construction of existing and new parking facilities; developer assistance with parking; directional and regulatory signage; landscaping, screening and beautification of parking facilities; and similar improvements necessary to serve the parking needs of the District. Such project may occur within the District or within a half-mile of the District as necessary to further District goals. The cost of land acquisition, design, construction management, and other soft costs related to any of the above also may be included.

Priority Projects

- a. **Streetscaping** - These costs may include, but are not limited to the planning and the actual costs of the construction of public works or improvements. These streetscaping elements may improve the aesthetics and functionality of the public streetscape and public domain adjacent to private development including landscaping, screening and beautification of facilities, installation of street furniture, trash receptacles, planters, public art, wayfinding signage, and any other streetscape elements that adds to the unique character of downtown, enhances existing and planned amenities, and enhances integration of public and private space. Such projects may occur within the District or within a half-mile of the District as necessary to further District goals. The cost of land acquisition, design, construction management, and other soft costs related to any of the above also may be included.
- b. **Public Parking Improvements** – These costs may include, but are not limited to the planning, design, and the actual costs of the construction of public works or improvements to public parking facilities in downtown. Public parking improvements under this category include repairs, aesthetic improvements, design, organization, configuration, wayfinding, access to, amenities on, and integration with the street and downtown businesses at all downtown public parking facilities. Such projects may occur

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within the District or within a half-mile of the District as necessary to further District goals. The cost of land acquisition, design, construction management, and other soft costs related to any of the above also may be included.

- c. **Public Facility and Structure Improvements** – These project costs may include, but are not limited to the planning, design, and the actual costs of the construction of public facilities and structures or the improvement of existing public facilities and structures. Potential projects under this category include, but are not limited to the construction of a multipurpose public pavilion at the N Johnson Street public parking lot, improvements to existing facilities at Centennial Park and all public spaces around the Mill Pond, construction or improvement of additional public spaces and structures. Such projects may occur within the District or within a half-mile of the District as necessary to further District goals. The cost of land acquisition, design, construction management, and other soft costs related to any of the above also may be included.
- d. **Utility Upgrades and Improvements** – These project costs may include, but are not limited to the planning, design, and the actual costs of the construction of utility upgrades and improvements. As redevelopment and investment occurs at catalytic downtown sites utilities will need to be relocated, upgraded, and improved. This category may include but is not limited to projects such as undergrounding above ground powerlines, upgrading and improving subsurface infrastructure in public right-of-ways as well as on private development sites, and any other utility upgrades or improvements that contribute to the orderly development within the District. Such projects may occur within the District or within a half-mile of the District as necessary to further District goals. The cost of land acquisition, design, construction management, and other soft costs related to any of the above also may be included.
- e. **Miscellaneous Capital Costs** – This category covers any additional projects that may be identified by the City in the future which may not be listed within the body of this document. As additional downtown development occurs within the District the City will identify specific capital improvement projects necessary to continue advancing downtown investment and development. Such projects may occur within the District or within a half-mile of the District as necessary to further District goals. The cost of land acquisition, design, construction management, and other soft costs related to any of the above also may be included.

2. Demolition, Remediation, and Site Preparation*

A majority of the properties in TID #10 were found to be in need of rehabilitation or conservation work, and some existing structures on these properties are not likely to be reused as part of future redevelopment activities, whether on City-owned or private land, during the life of the District. Surveys for asbestos and other potential contaminants have not been conducted by the City in any of these structures, but the age and construction types suggests that such contaminants may be present. Further, significant post-demolition regrading and other site preparation activities also are anticipated. Accordingly, expenditures of this type may occur anywhere in the District in addition to the three priority sites listed below.

Priority Projects

- a. **Downtown Hotel** – This site bounded by Park Avenue, E Sumner Street, and Mill Street is the highest priority redevelopment project in the City identified in the adopted

- downtown strategic development plan. The City may utilize the appropriate resources available to ensure the highest likelihood of project success.
- b. **North Bookend** – The North Bookend is a high priority catalytic site identified in the City’s 2015 Downtown Plan. The site consists of 8 separate parcels and four different property owners. The southern parcels on the site are bounded by the Wisconsin & Southern (WSOR) rail corridor and have a high likelihood of needing environmental investigation and remediation.
 - c. **North Main Street Redevelopment Area** – The Northern portion of TID 10 contains a number of parcels along N. Main Street, Wisconsin Street, and Wisconsin Avenue with long term redevelopment potential for residential and commercial uses. Redevelopment of this area will more than likely require demolition, remediation and site preparation work. A significant amount of regrading at parcels twelve to seventeen may be necessary to create a suitable site for mixed use development. The age and number of separate parcels composing this redevelopment area may require assistance and support in demolishing and remediating the sites as well.

3. Economic Development Incentives

These costs include, but are not limited to, cash grants, loans, incentives, and any expenditures of the type described in any of the other categories listed in this section by or on behalf of a developer in order to induce development and ensure project feasibility. All development projects that receive some form of direct or indirect TIF participation will first enter into a development agreement approved by the Common Council that specifies the terms of the TIF contributions and the obligations of the receiving property or business owner. Such contributions may be in the form of direct cash grants or in “pay-as-you-go” payments over time.

Economic Development Incentive payments may be provided to land owners, businesses or lessees anywhere within the District. Incentives for properties within one-half mile of the TID boundary, intended primarily to assist homeowners in the neighborhood adjoining the District to make external and internal repairs and improvements to their properties in order to maintain the safety, health and vibrancy of the neighborhood and the District, are also authorized under this Plan. The amount spent on such half-mile expenditures shall not exceed ten percent of total District expenditures over the life of the District. The amount and form of TIF participation for a particular project, if any, will be determined on a project-by-project basis as described in a project development agreement depending upon a project’s specific needs, funding availability, and the project’s consistency with the goals and objectives stated in this plan and other City plans and policies.

Priority Projects

- a. **Facade Improvement Program** – These project costs will go to establishing a low cost mechanism for property owners within the District or within a half-mile of the District to access funds to improve the front and rear facades of their properties. The specifics of how the program can or should be structured will occur at the time of program creation.
- b. **Miscellaneous Development Incentives** – These costs include, but are not limited to, cash grants, loans, incentives, and any expenditures of the type described in any of the other categories listed in this section by or on behalf of a developer in order to induce development and ensure project feasibility. The method used to distribute and the amount of incentive

provided by the City will be negotiated on a project-by-project basis through the creation of a development agreement between a private development entity and the City.

4. Administration and Professional Services

These costs include, but are not limited to, those costs incurred for architectural, planning, engineering, financial, marketing and market analysis, legal advice, and other services necessary to implement this Plan. Among other services, these may include developer recruitment and negotiations, capital improvement and infrastructure design, site design, public space design, and similar services whether conducted by City staff, contractors, or one or more of the City's partner agencies such as the Community Development Authority, Chamber of Commerce, The Hartford Area Development Corporation, The Downtown Business Improvement District, and Economic Development Washington County. In addition, these costs include ongoing administration of the District, including cost recovery for service demands necessitated by and specific to the District's development as well as the completion of required annual reports, forms and audits, and similar efforts.

Priority Projects

Active project management will be a key activity and expenditure for successful implementation of the TID #10 Project Plan. It is the intent of the Hartford Common Council to offer a wide range of services which may include, but are not limited to: recruitment of appropriately-qualified developers for each potential redevelopment site; marketing the District for potential businesses; providing low-interest loans and/or interest write-downs for property rehabilitation and redevelopment; providing grants for façade improvements; site acquisition and preparation; and cost recovery for service demands necessitated by and specific to the District's development. In addition, implementation of this Plan may include the following general tasks, which City staff, contractors or partner organizations may reasonably undertake at the City's discretion:

- Conducting more detailed planning and engineering studies;
- Developing more refined land use and redevelopment plans for implementation;
- Developing standards for which development within the District will need to conform;
- General guidance and referral of actions to other City committees and the Common Council; Establishing and managing an economic development master fund;
- Identifying and applying for additional non-TIF revenue sources such as grants;
- Public infrastructure construction oversight;
- Developing and implementing a business marketing plan;
- Developer recruitment;
- Business recruitment;
- Preparation of annual reports and submittal of required forms and fees to the state Department of Revenue; and
- Conducting audits.

5. Property Acquisition and Relocation*

These costs include, but are not limited to, any deficit incurred resulting from the purchase of property for public use or the resale or lease as lessor by the City of real or personal property within the District or within one-half mile for consideration that is less than its cost to the City. Also included are relocation payments made in certain circumstances as the result of the City acquiring property within the District.

Priority Projects

The District is intended to promote a high-quality mix of residential, commercial and industrial development, redevelopment and expansion. While there are no specific plans to acquire additional real estate within the District, the City may wish to purchase land for redevelopment or easements for public infrastructure purposes, as well as to qualify for grants and other forms of assistance from state and federal agencies. The City also may wish to offer publicly held land at no or significantly reduced cost in order to attract new business development.

6. Finance Charges and Interest

Finance charges and interest include, but are not limited to, interest paid on debt obligations incurred to pay for project costs, debt issuance costs, capitalized interest, coverage and reserve funds, and costs of redemption prior to maturity. This also may include interest paid to developers under pay-as-you-go provisions included in an approved development agreement.

7. Donations to Other Districts

Allocations of surplus increment to other qualifying tax increment Districts within the City are authorized in accordance with Wis. Stat. §66.1105(6)(f). While no such donations are anticipated under this Plan, once all other obligations of the District have been met on an annual basis, and subject to available increment, the City may elect to allocate increment from TID #10 to other qualifying Districts by amending the list of eligible project costs in this Plan pursuant to Wis. Stat. §66.1105(4)(h).

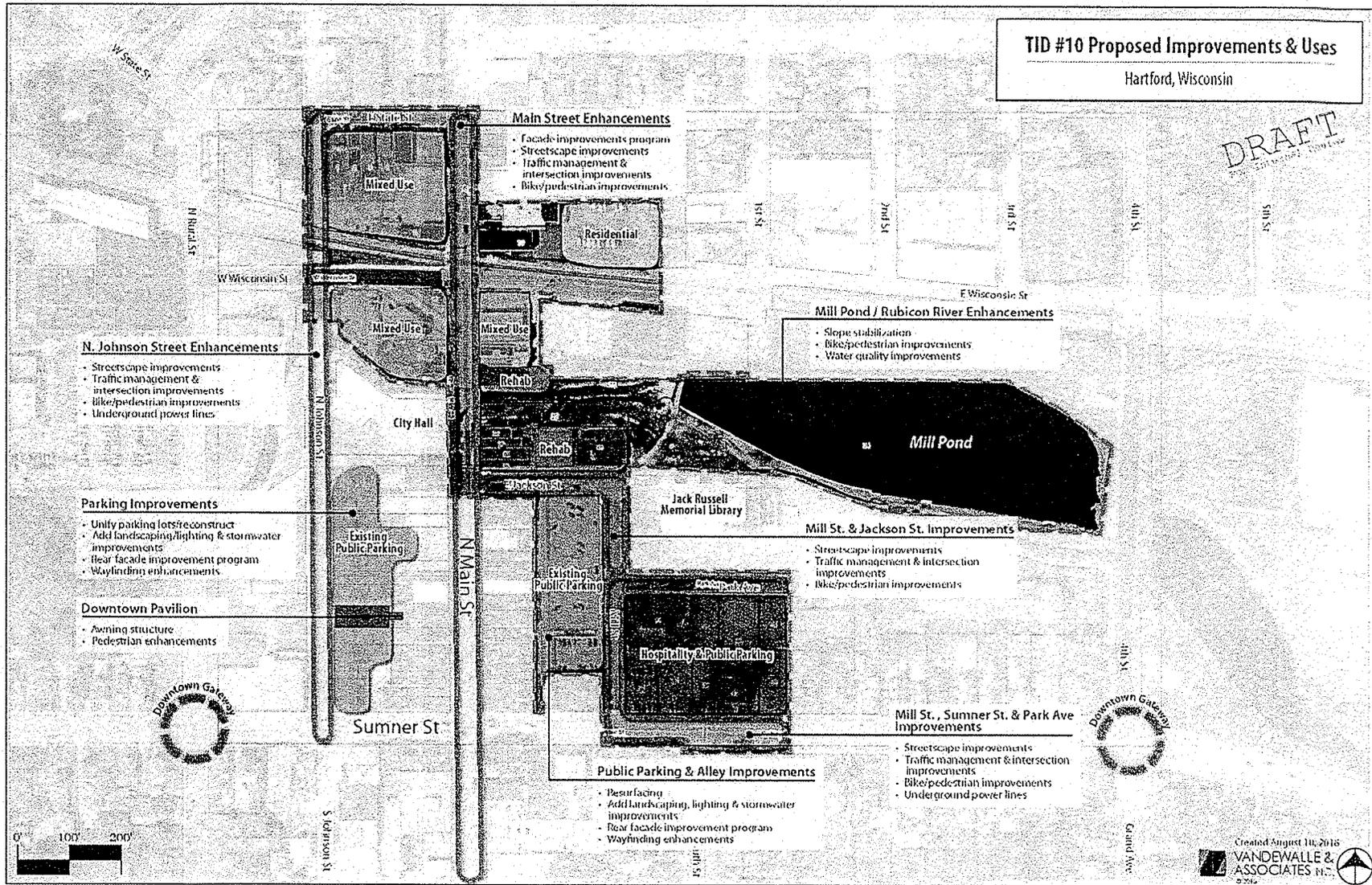
Table 2: Priority Projects and Estimated Costs

Priority Project		Estimated Project Costs
1	Capital Costs (including potential expenses within 1/2 mile)*	\$ 2,163,000
a.	Streetscaping (including potential expenses within 1/2 mile)*	\$ 450,000
b.	Public Parking Improvements	\$ 150,000
c.	Public Facility and Structure Improvements	\$ 330,000
d.	Utility Upgrades and Improvements	\$ 1,193,000
e.	Miscellaneous Capital Costs	\$ 40,000
2	Demolition, Remediation and Site Prep*	\$ 400,000
a.	Hotel Demolition, Remediation, Site Prep	\$ 100,000
b.	North Bookend Demolition, Remediation, Site Prep	\$ 100,000
c.	North Main Street Redevelopment Demolition, Remediation, Site Prep	\$ 100,000
d.	Miscellaneous Demolition, Remediation, Site Prep	\$ 100,000
3	Economic Development Incentives*	\$ 1,075,000
a.	Façade Improvement Program (front and rear)	\$ 75,000
b.	Miscellaneous Development Incentives	\$ 1,000,000
4	Administration and Professional Service	\$ 220,000
5	Property Acquisition and Relocation*	\$ 250,000
6	Finance Charges and Interest	\$ 1,108,200
7	Donations to Other TIF Districts	\$ -
Total Estimated Project Costs		\$ 5,216,200
Total Projected Tax Increment		\$ 6,538,516

Footnotes:

1. See "TID 10 Proposed Improvements and Uses" (Map 5) for project locations.
2. All preliminary cost estimates are shown in 2016 dollars and subject to inflation and refinement as more information becomes available, including unforeseen future projects and costs. The City reserves the right to increase these costs to reflect inflationary increases and other uncontrollable circumstances between 2016 and the time of construction. The City also reserves the right to increase certain project costs to the extent others are reduced or not implemented, without amending the Project Plan.
3. Expenditures marked with an asterisk (*) may take place within one half mile of the District boundary.

Map 5: Proposed Improvements and Uses Map



VI. NON TAX REVENUES AND NON PROJECT COSTS

Non-Project costs are public works projects that only partly benefit the District or are not eligible to be paid with tax increments, or costs not eligible to be paid with TIF funds. The City does not expect to incur any non-project costs in the implementation of this Plan.

VII. ECONOMIC FEASIBILITY ANALYSIS

The information and exhibits contained within this section demonstrate that the proposed District is economically feasible insofar as:

- The City has available to it the means to secure the necessary financing required to accomplish the projects contained within this Plan.
- The City expects to complete the projects in multiple phases and can adjust the timing of implementation as needed to coincide with the pace of redevelopment.
- The development anticipated to occur as a result of the implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects.

Table 2: Priority Projects and Estimated Costs (Section V), lists priority projects and provides an estimated cost for each over the two expenditure phases throughout the District's life. Hard costs are expected to be borrowed for and built within 1-2 year time frames, while soft costs for discretionary payments, administration and professional services, and finance charges/interest represent ongoing expenses. All costs are shown in 2016 dollars.

Within this section are several additional tables that, together, provide a cash flow model demonstrating that the projected tax increment collections and all other revenues available to the District will be sufficient to pay all project costs.

Each project will need to be addressed on an individual basis through negotiations and a review of project finances ultimately resulting in a development agreement. Each project also will be reviewed in a manner addressing the criteria of job creation, tax increment creation, and similar development criteria. One development project may address certain criteria while another may address different criteria. Consequently, the Common Council will review each project individually and make its determinations based on the project's implementation goals. The City reserves the right to implement only those projects that remain viable as the Plan period proceeds.

Table 3: Development Assumptions, provides a more detailed schedule of expected development in TID #10, based on the potential for expansion or redevelopment potential of selected parcels, generally assumed to take place within the first seven year of the District's life. The actual pace of development is difficult to predict, but it is the City's goal to capture increment value from new construction projects to spur additional growth within the District over the next 27 years. A conservative estimate places the value increment from new construction within the District at approximately \$12.7 million, with several near term projects expected to occur by 2018, and longer-term projects spread evenly over the following five years for purposes of projecting the District's total revenue generation potential.

Table 4: Tax Increment Projections, estimates the tax increment to be generated from new construction in the District (Table 3). Note that there is a one-year lag until the value of new construction is added to the tax roll and a two-year lag until the project generates tax increment. Based on the type and intensity of development estimated to occur, new construction in the District is projected to yield tax increment revenues of \$6,538,516 (in 2016 dollars). Increment

estimates are based on assessment data for comparable properties currently paying taxes in the City of Hartford and surrounding municipalities.

Financing for certain priority projects listed in Table 2 will be made on a case-by-case basis. The borrowing could be a mix of General Obligation, Revenue Bonds, and Special Assessment B Bonds in order to keep borrowing flexibility on future City projects. (See Section VIII for detailed descriptions of these and other financing methods available to the City.) Table 5: Estimated Financing Plan, shows one possible scenario that combines a tax-exempt bond issuance in 2017 for priority capital and infrastructure costs, with an additional, smaller borrowing in 2019 covering longer term parking improvements and public facility upgrades. Both notes would allow for additional projects within one-half mile of the District boundary, as noted in Section V, pending available increment revenue. It is estimated that the borrowing interest rate will be approximately 4.0% at prevailing 2016 scale, with gradual payment increases over time to account for capitalized interest. All financial calculations assume an annual inflation rate of 1% and an effective mill rate of 0.01821.

As shown on Table 6: Cash Flow Projection, TID #10 is expected to close on time, as soon as 2039, with a projected positive cash balance of \$2,440,257 available at the end of its statutory life (the final collection year of 2044). The \$2,050,000 cost estimate for total principal debt service for the two bond issuances in Table 5 is intended to be reflective of additional finance related costs; however, this amount is subject to change without having to amend this Project Plan and will vary depending upon the types of financing selected and the associated costs involved.

The information and exhibits contained within this Section demonstrate that the proposed District is economically feasible insofar as:

- The City has available to it the means to secure the necessary financing required to accomplish the projects contained within this Plan. A listing of "Available Financing Methods" is included in Section VIII.
- The City expects to complete the projects in one or multiple phases, and can adjust the timing of implementation as needed to coincide with the pace of private development. A discussion of the phasing and projected timeline for project completion is discussed under "Plan Implementation" within this Section. Table 5 provides a projection of the financing method for each phase and the time at which that financing is expected to be incurred is included.
- The development anticipated to occur as a result of the implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects. Within this Section are tables identifying: 1) the development expected to occur, 2) a projection of tax increments to be collected resulting from that development and other economic growth within the District, and 3) a cash flow model demonstrating that the projected tax increment collections and all other revenues available to the District will be sufficient to pay all Project Costs.

Plan Implementation

To be successful, the District will need to be implemented in accordance with the following objectives:

- Projects identified will provide the necessary anticipated governmental services to the area. A reasonable and orderly sequence is shown on Table 5. However, public debt and

expenditures should be made at the pace private development occurs to assure increment is sufficient to cover expenses.

- It is anticipated developer agreements between the City and property owners will be in place prior to major public expenditures. These agreements can provide for development guarantees or a payment in lieu of development. To further assure contract enforcement, these agreements might include levying of special assessments against benefited properties.
- The order in which public improvements are made should be adjusted in accordance with development and execution of developer agreements. The City reserves the right to alter the implementation of this Plan to accomplish this objective.
- Projected interest rates are based on current market conditions. Municipal interest rates are subject to constantly changing market conditions. In addition, other factors such as the loss of tax-exempt status of municipal bonds or broadening the purpose of future tax-exempt bonds would affect market conditions. Actual interest expense will be determined once the methods of financing have been approved and securities or other obligations are issued.
- **If financing as outlined in this Plan proves unworkable, the City reserves the right to use alternate financing solutions for the projects as they are implemented.**

Table 3: Development Assumptions

PP*	Map ID	Project	Size	Value Increment	Annual Tax Increment	Timing
R.1.	1-8	Residential	50 units	\$ 3,080,200	\$ 56,103	2017
C.1.	33-42	Hotel	60 rooms	\$ 2,728,000	\$ 49,688	2017
**	10	Building Rehab		\$ 22,600	\$ 411.64	2018
	11	Residential	24 units	\$ 1,807,000	\$ 32,913	Beyond 2018
R.4.	26-30, 43	Building Rehab		\$ 219,260	\$ 3,994	2018
R.2.	12-18	Mixed Use Commercial	7,920 sf			Beyond 2018
		Mixed Use Residential	16 units			
		Residential	24 units	\$ 3,891,600	\$ 70,882	
C.2.	22	Brewpub Reuse		\$ 72,820	\$ 1,326	2018
		Brewpub Upper Res.	2 units	\$ 160,000	\$ 2,914	2018
R.3.	19-21	Mixed Use Commercial	8,580 sf			Beyond 2018
		Mixed Use Residential	24 units	\$ 696,500	\$ 12,686	Beyond 2018
Totals				\$ 12,677,980	\$ 230,919	
Net Tax Rate (Tax Year 2015)			0.01821			

*Priority Project ID from Hartford Downtown Strategic Development Plan, March 2016.

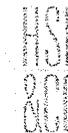
**Redevelopment Site B from North Main Street RFQ Yield Study, May 2016.

Table 4: 27-Year Tax Increment Projections

Assumptions	
Base Value =	\$4,603,000
Estimated Tax Rate =	\$18.21
Estimated Inflation Rate =	1.00%
Creation Date =	Sept., 2016

Tax Increment Summary

Improve- ment Year	Tax Value - Jan. 1	Value - Beginning of Year	Value of Development	Inflation Increment	Tax Increment Value	Value - End of Year	Tax Rate (\$1,000)	Tax Increment Collected	Collection Year
2016	2017	\$4,603,000	\$0	\$0	\$0	\$4,603,000	18.21	\$0	2018
2017	2018	4,603,000	5,808,200	46,030	\$5,854,230	10,457,230	18.21	106,606	2019
2018	2019	10,457,230	474,680	104,572	\$6,433,482	11,036,482	18.21	117,154	2020
2019	2020	11,036,482	1,279,020	110,365	\$7,822,867	12,425,867	18.21	142,454	2021
2020	2021	12,425,867	1,279,020	124,259	\$9,226,146	13,829,146	18.21	163,008	2022
2021	2022	13,829,146	1,279,020	138,291	\$10,643,457	15,246,457	18.21	193,817	2023
2022	2023	15,246,457	1,279,020	152,465	\$12,074,942	16,677,942	18.21	219,885	2024
2023	2024	16,677,942	1,279,020	166,779	\$13,520,741	18,123,741	18.21	246,213	2025
2024	2025	18,123,741		181,237	\$13,701,979	18,304,979	18.21	249,513	2026
2025	2026	18,304,979		183,050	\$13,885,028	18,488,028	18.21	252,846	2027
2026	2027	18,488,028		184,880	\$14,069,909	18,672,909	18.21	256,213	2028
2027	2028	18,672,909		186,729	\$14,256,638	18,859,638	18.21	259,613	2029
2028	2029	18,859,638		188,596	\$14,445,234	19,048,234	18.21	263,048	2030
2029	2030	19,048,234		190,482	\$14,635,717	19,238,717	18.21	266,516	2031
2030	2031	19,238,717		192,387	\$14,828,104	19,431,104	18.21	270,020	2032
2031	2032	19,431,104		194,311	\$15,022,415	19,625,415	18.21	273,558	2033
2032	2033	19,625,415		196,254	\$15,218,669	19,821,669	18.21	277,132	2034
2033	2034	19,821,669		198,217	\$15,416,886	20,019,886	18.21	280,741	2035
2034	2035	20,019,886		200,199	\$15,617,084	20,220,084	18.21	284,387	2036
2035	2036	20,220,084		202,201	\$15,819,285	20,422,285	18.21	288,069	2037
2036	2037	20,422,285		204,223	\$16,023,508	20,626,508	18.21	291,788	2038
2037	2038	20,626,508		206,265	\$16,229,773	20,832,773	18.21	295,544	2039
2038	2039	20,832,773		208,328	\$16,438,101	21,041,101	18.21	299,338	2040
2039	2040	21,041,101		210,411	\$16,648,512	21,251,512	18.21	303,169	2041
2040	2041	21,251,512		212,515	\$16,861,027	21,464,027	18.21	307,039	2042
2041	2042	21,464,027		214,640	\$17,075,667	21,678,667	18.21	310,948	2043
2042	2043	21,678,667		216,787	\$17,292,454	21,895,454	18.21	314,896	2044
Estimated New Increment =		\$12,677,980		\$3,141,305				\$6,538,516	



Hartford Strategic Energy & Gas

Table 5: Estimated Debt Service Financing Plan

Tax Exempt Borrowing - Est Interest @ 4.00%*			
	2017	2019	Total Debt Service
	\$1,600,000	\$450,000	
2017			
2018	96,000		96,000
2019	93,400		93,400
2020	97,100	27,000	124,100
2021	100,600	27,800	128,400
2022	99,000	27,400	126,400
2023	107,200	27,000	134,200
2024	110,100	26,600	136,700
2025	112,800	31,100	143,900
2026	115,300	30,500	145,800
2027	117,600	29,900	147,500
2028	124,600	34,200	158,800
2029	126,300	33,400	159,700
2030	127,800	32,600	160,400
2031	134,000	36,700	170,700
2032	139,800	35,700	175,500
2033	145,200	39,600	184,800
2034	145,300	38,400	183,700
2035	150,100	42,100	192,200
2036	159,400	40,700	200,100
2037	163,200	44,200	207,400
2038	0	42,600	42,600
2039	0	45,900	45,900
2040	0	0	0
2041	0	0	0
2042	0	0	0
2043	0	0	0
2044	0	0	0
	<u>2,464,800</u>	<u>693,400</u>	<u>3,158,200</u>

* Includes \$237,000 for estimated capitalized interest.



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Table 6: Summary of Sources & Uses (Cash Flow Analysis)

Assumptions	
Est. Int. on Investments =	1.00%
Est. Int. on Fund Balance Advance =	3.00%
Est. PV Rate =	4.00%

Collection Year	Sources of Funds				Uses of Funds					Net Cash Flow	TID Balance
	Tax Increment	City - Cash Contribution	Investment Income	Proceeds of L.T. Debt*	Capital Expenditures	Admin.	Development Incentives	Debt Service	Interest on Fund Balance Advance		
2016	-	-	-	-	-	15,000	-	-	-	(15,000)	(15,000)
2017	-	750,000	-	1,600,000	2,163,000	15,000	-	-	450	171,550	156,550
2018	-	-	1,566	-	-	15,000	-	96,000	-	(109,435)	47,116
2019	106,606	-	471	450,000	400,000	10,000	-	93,400	-	53,677	100,792
2020	117,154	250,000	1,008	-	250,000	10,000	-	124,100	-	(15,938)	84,854
2021	142,454	-	849	-	-	10,000	-	128,400	-	4,903	89,757
2022	168,008	-	898	-	-	10,000	-	126,400	-	32,506	122,262
2023	193,817	-	1,223	-	-	10,000	-	134,200	-	50,840	173,102
2024	219,885	-	1,731	-	-	10,000	50,000	136,700	-	24,916	198,018
2025	246,213	-	1,980	-	-	10,000	75,000	143,900	-	19,293	217,311
2026	249,513	-	2,173	-	-	10,000	75,000	145,800	-	20,886	238,197
2027	252,846	-	2,382	-	-	10,000	100,000	147,500	-	(2,272)	235,926
2028	256,213	-	2,359	-	-	5,000	100,000	158,800	-	(5,228)	230,698
2029	259,613	-	2,307	-	-	5,000	100,000	159,700	-	(2,780)	227,918
2030	263,048	-	2,279	-	-	5,000	100,000	160,400	-	(73)	227,845
2031	266,516	-	2,278	-	-	5,000	100,000	170,700	-	(6,905)	220,940
2032	270,020	-	2,209	-	-	5,000	125,000	175,500	-	(33,271)	187,669
2033	273,558	-	1,877	-	-	5,000	125,000	184,800	-	(39,365)	148,304
2034	277,132	-	1,483	-	-	5,000	125,000	183,700	-	(35,085)	113,219
2035	280,741	-	1,132	-	-	5,000	-	192,200	-	84,674	197,893
2036	284,387	-	1,979	-	-	5,000	-	200,100	-	81,266	279,159
2037	288,069	-	2,792	-	-	5,000	-	207,400	-	78,461	357,619
2038	291,788	-	3,576	-	-	5,000	-	42,600	-	247,764	605,384
2039	295,544	-	6,054	-	-	5,000	-	45,900	-	250,698	856,082
2040	299,338	-	8,561	-	-	5,000	-	-	-	302,899	1,158,980
2041	303,169	-	11,590	-	-	5,000	-	-	-	309,759	1,468,740
2042	307,039	-	14,687	-	-	5,000	-	-	-	316,727	1,785,466
2043	310,948	-	17,855	-	-	5,000	-	-	-	323,803	2,109,269
2044	314,896	-	21,093	-	-	5,000	-	-	-	330,988	2,440,257
	<u>6,538,516</u>	<u>1,000,000</u>	<u>118,391</u>	<u>2,050,000</u>	<u>2,813,000</u>	<u>220,000</u>	<u>1,075,000</u>	<u>3,158,200</u>	<u>450</u>	<u>2,440,257</u>	

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Hutchinson Spooling, Inc.

VIII. AVAILABLE FINANCING METHODS

Implementation of this Plan may require that the City issue debt obligations to provide direct or indirect financing for the Projects to be undertaken. The following is a list of the types of obligations the City may choose to utilize.

General Obligation (G.O.) Bonds or Notes

The City may issue G.O. Bonds or Notes to finance the cost of projects included within this Plan. The Wisconsin State Constitution limits the principal amount of G.O. debt that the community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value. As of the date of this plan, the City has a G.O. debt limit of \$59,349,085, of which approximately \$28,900,000 is currently unused (per the City's 2015 Audited Financial Statements) and could be made available to finance project costs.

Bonds Issued to Developers ("Pay as You Go" Financing)

The City may issue a bond or other obligation to one or more developers who provide financing for projects included in this Plan. Repayment of the amounts due to the developer under the bonds or other obligations are limited to an agreed percentage of the available annual tax increments collected that result from the improvements made by the developer. To the extent the tax increments collected are insufficient to make annual payments, or to repay the entire obligation over the life of the District, the City's obligation is limited to not more than the agreed percentage of the actual increments collected. Bonds or other obligations issued to developers in this fashion are not general obligations of the City and, therefore, do not count against the City's statutory borrowing capacity.

Tax Increment Revenue Bonds

The City has the authority to issue revenue bonds secured by the tax increments to be collected. These bonds may be issued directly by the City or as a form of lease revenue bond by its Redevelopment Authority (RDA). Tax Increment Revenue Bonds and Lease Revenue Bonds are not general obligations of the City and therefore do not count against the City's statutory borrowing capacity. To the extent tax increments collected are insufficient to meet the annual debt service requirements of the revenue bonds, the City may be subject to either a permissive or mandatory requirement to appropriate on an annual basis a sum equal to the actual or projected shortfall.

Utility Revenue Bonds

The City can issue revenue bonds to be repaid from revenues of its various systems, including revenues paid by the City that represent service of the system to the City. There is neither a statutory nor constitutional limitation on the amount of revenue bonds that can be issued, however, water rates are controlled by the Wisconsin Public Service Commission and the City must demonstrate to bond purchasers its ability to repay revenue debt with the assigned rates. To the extent the City utilizes utility revenues other than tax increments to repay a portion of the bonds the City must reduce the total eligible Project Costs in an equal amount.

Special Assessment "B" Bonds

The City has the ability to levy special assessments against benefited properties to pay part of the costs for street, curb, gutter, sewer, water, storm sewers and other infrastructure. In the event the City determines that special assessments are appropriate, the City can issue Special Assessment

B bonds pledging revenues from special assessment installments to the extent assessment payments are outstanding. These bonds are not counted against the City's statutory borrowing capacity. If special assessments are levied, the City must reduce the total eligible Project Costs under this Plan in an amount equal to the total collected.

IX. CONSISTENCY OF ACTIVITIES WITHIN TAX INCREMENT DISTRICT #10 WITH THE CITY ZONING ORDINANCE, MASTER PLAN AND OTHER DEVELOPMENT ORDINANCES

It is expected that this Plan will be complementary to the City's Master Plan. There are no proposed changes to the Master Plan, map, building codes or other City ordinances for the implementation of this Plan.

X. ANNEXED PROPERTY

There are no lands proposed for inclusion within the District that were annexed by the City on or after January 1, 2004.

XI. ESTIMATE OF PROPERTY TO BE DEVOTED TO RETAIL BUSINESS

Pursuant to Wisconsin Statutes Sections 66.1105(5)(b) and 66.1105(6)(am)1, the City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period.

XII. STATEMENT ON RELOCATION

It is not anticipated there will be a need to relocate persons or businesses in conjunction with this Plan. In the event relocation or the acquisition of property by eminent domain becomes necessary at some time during the implementation period, the City will follow applicable provisions of Wis. Stats. Chapter 32.

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APPENDIX A PARCEL LIST WITH PHYSICAL CONDITIONS ASSESSMENT

MAP ID	Tax Key	Owner	Physical Address	Land Value 2016	Improvement Value 2016	Total Value 2016	Parcel Acres	Existing/ Former Use	Dilapidated - Serious Building Deficiencies	Deterioration	Age/ Obsolescence/ No longer suits purpose built for	Faulty street or lot layout	Unsafe conditions	Obsolete platting	Diversity of ownership	Deterioration of structure	Deterioration of site improvement	Impairs sound growth	Acres in Need of Rehabilitation or Conservation Work	Additional Notes
1	36_2001015005	JOHN H OHRMUND	37 W STATE ST	\$25,900	\$145,100	\$171,000	0.12	Commercial 1st Floor Residential 2nd Floor			X					X			0.12	Structure and landscaping are well maintained. Potential environmental considerations with proximity to rail.
2	36_2001015004	HARTFORD MAIN & STATE LLC	33-35 W STATE ST	\$13,100	\$86,600	\$99,700	0.08	Commercial 1st Floor Residential 2nd Floor			X					X			0.08	Structure and landscaping are well maintained. Potential environmental considerations with proximity to rail.
3	36_2001015003	JAMES L&HEIDI A SCHAEFER	29 W STATE ST	\$23,300	\$155,900	\$179,200	0.11	Commercial 1st Floor Residential 2nd Floor			X					X			0.11	Residential tenant vacating/commercial appears vacant. Potential environmental considerations.
4	36_2001015002	JAMES L&HEIDI A SCHAEFER	23-25 W STATE ST	\$16,300	\$95,800	\$112,100	0.09	Commercial 1st Floor Residential 2nd Floor			X					X			0.09	Residential tenant vacating/commercial appears vacant. Potential environmental considerations.
5	36_2001015016	HARTFORD MAIN & STATE LLC	225 N MAIN ST	\$45,300	\$323,700	\$369,000	0.15	Former Real Sicilian Deli and Market			X						X		0.15	Vacant commercial. Peeling paint at the south of building. Roof appears in need of replacement.
6	36_2001015014	CITY OF HARTFORD	212 N JOHNSON ST	\$0	\$0	\$0	0.14	Public parking lot		X									0.14	City Parking Lot with cracking and faded striping. Potential environmental considerations.
7	36_2001015017	CITY OF HARTFORD	217 N MAIN ST	\$0	\$0	\$0	0.28	Public parking lot		X									0.28	City Parking Lot with cracking and faded striping. Potential environmental considerations.
8	36_2001015015	HARTFORD MAIN & STATE LLC	207-211 N MAIN ST	\$43,800	\$112,700	\$156,500	0.09	Salon Effervescence											0.09	Historic Depot. Front facade and landscaping well kept. Rear unkempt and overgrown. Potential environmental considerations.
9	36_2102005004	PSD LLC	212 N MAIN ST	\$62,400	\$109,200	\$171,600	0.19	Doll Automotive			X					X			0.19	Automotive Repair showroom that appears to be used for office. Potential environmental considerations.
10	36_2102005005	PSD LLC	206 N MAIN ST	\$50,900	\$113,000	\$163,900	0.23	Doll Automotive			X					X			0.23	Automotive Repair garage. Potential environmental considerations.
11	36_2102005007	PSD LLC	44 E WISCONSIN ST	\$57,700	\$21,300	\$79,000	0.57	Doll Automotive			X					X			0.57	Automotive Repair. Parking lot surface cracking, outdoor storage at northeast corner, trees unkempt. Potential environmental considerations.
12	36_2001006009	CITY OF HARTFORD	43 W WISCONSIN AVE	\$0	\$0	\$0	0.02	City Carriage Strip							X					City of Hartford Carriage Strip
13	36_2001006005	CITY OF HARTFORD ELECTRIC UTIL	39 W WISCONSIN ST	\$0	\$0	\$0	0.21	Public parking lot		X					X					City Parking Lot
14	36_2001006004	BONNIE L HANRAHAN	25 W WISCONSIN ST	\$18,700	\$82,000	\$100,700	0.08	Residential							X	X			0.08	Multi-tenant residential
15	36_2001006003	STEVEN M CYPHER	135 N MAIN ST	\$31,700	\$72,500	\$104,200	0.13	Sharon's Antiques							X	X			0.13	Antique first floor. Residential uppers
16	36_2001006002	LINDA M DALLMAN	131 N MAIN ST	\$41,500	\$101,500	\$143,000	0.16	The Bicycle Shop		X					X	X			0.16	Bicycle Business Moved. Currently vacant. For rent signs
17	36_2001006007	ELEVEN 99 PROPERTIES LLC	127 N MAIN ST	\$8,200	\$42,400	\$50,600	0.05	CS Insurance		X					X	X			0.05	Insurance first floor. Residential above. Sign fading
18	36_2001023001	CITY OF HARTFORD	149 N MAIN ST	\$0	\$0	\$0	0.05	Park/Parking		X		X			X	X			0.05	City Parking stalls.
19a	36_2102003004	DEAN T & MARY J KIRLEY	142 N MAIN ST	\$35,900	\$94,000	\$129,900	0.12	Downtown Beverage											0.12	Well maintained building. Building is non-historic downtown building with need for rehabilitation/redevelopment. Parking lot has cracking and uneven surface. North facade windowless and stark.
19b	36_2102003005	LARSEN, EDWARD LARSEN, VICKIE	140 N MAIN ST	\$51,900	\$136,900	\$188,800	0.12	Erin Enterprises											0.12	Well maintained building. Building is non-historic downtown building with need for rehabilitation/redevelopment. Parking lot has cracking and uneven surface. North facade windowless and stark.
20	36_2102003009	EDWARD&VICKIE LARSEN	130 N MAIN ST	\$11,800	\$64,400	\$76,200	0.04	Erin Enterprises							X	X			0.04	Outdated facade and shingles in need of repair. Chimney has crumbling brick. Rear parking crumbling. Rear fieldstone wall crumbling. Overgrown trees and brush on retaining wall.

MAP ID	Tax Key	Owner	Physical Address	Land Value 2016	Improvement Value 2016	Total Value 2016	Parcel Acres	Existing/ Former Use	Dilapidated - Serious Building Deficiencies	Deterioration	Age/ Obsolescence/ No longer suits purpose built for	Faulty street or lot layout	Unsafe conditions	Obsolete platting	Diversity of ownership	Deterioration of structure	Deterioration of site improvement	Impairs sound growth	Acres in Need of Rehabilitation or Conservation Work	Additional Notes
21	36_2102003010	KENNETH L & S C LEITNER	128 N MAIN ST	\$15,600	\$80,700	\$96,300	0.06	Specialty Tools Equipment & Supply							X	X			0.06	Outdated facade. Single story Space blanket over front window. Chipping paint.
22	36_2102003011	DAFFY PROPERTIES LLC	120 N MAIN ST	\$48,700	\$364,100	\$412,800	0.16	Millstream: Multiple tenants							X	X			0.16	Facade, bricks, and paint chipping. South wall and west wall tuck pointing in need of repair. Rusted fire escapes at the east. Pot holes in parking lot at east of building. Vacant space.
23	36_2102003016	CITY OF HARTFORD	119 FIRST ST	\$0	\$0	\$0	0.24	undeveloped land												City owned. Alpine rock garden landscaping improvements underway
24	36_2102002035	CITY OF HARTFORD	500 E SUMNER ST	\$0	\$0	\$0	1.30	City Park												The millpond and small park space on south bank are well maintained. The wetland area exempt from the total district acreage is 3.62 acres. The land area for inclusion in the total district acreage is 1.3 acres.
25	36_2102002001	CITY OF HARTFORD	114 N MAIN ST	\$0	\$0	\$0	0.34	City Park/Pathway												Well maintained. High quality paved path. Full tree canopy.
26	36_2102002003	JOOSSE COMMERCIAL LLC	110 N MAIN ST	\$8,400	\$73,900	\$82,300	0.03	Beauty Bar							X	X			0.03	Weeds prevalent. Dated facade.
27	36_2102002004	SECOND CHANCE VENTURES LLC	104-106 N MAIN ST	\$15,200	\$78,400	\$93,600	0.04	vacant	X	X		X			X	X			0.04	Vacant storefront. Tuck-pointing is damaged. Crumbling bricks. Peeling paint. Rear stairwell and porch have rot.
28	36_2102002005	SECOND CHANCE VENTURES LLC	102 N MAIN ST	\$15,400	\$138,500	\$153,900	0.05	Mole Hole/Welch Building	X	X		X			X	X			0.05	Vacant. Currently under renovation for commercial and residential
29	36_2102002006	SECOND CHANCE VENTURES LLC	100 N MAIN ST	\$15,200	\$143,100	\$158,300	0.05	Mole Hole/Welch Building	X	X		X			X	X			0.05	Vacant. Currently under renovation for commercial and residential. Brick on south portion of building crumbling near foundation.
30	36_2102002007	CHRISTINE M DELONG TOD	28 JACKSON ST	\$29,400	\$240,800	\$270,200	0.12	Puebla's Kitchen								X			0.12	Weeds and overgrown brush at north (rear of building).
31	36_2102001017	CITY OF HARTFORD	21 E JACKSON ST	\$0	\$0	\$0	0.26	City alleyway												Some weeds and cracked pavement. Generally good condition.
32	36_2102001015	CITY OF HARTFORD	23 JACKSON ST	\$0	\$0	\$0	0.58	City Parking Lot												Generally good condition. Stripes are fading. Some cracking pavement
33	36_2102002011	JANICE H HATCH	30 MILL ST	\$38,800	\$118,400	\$157,200	0.28	Residential Single Family Home	X	X					X	X	X		0.28	Overgrown Landscaping. Peeling Paint. Trees untrimmed. Outdoor storage present. Erosion of hillsides on north and south of property.
34	36_2102002012	THOMAS J MASTERS	24 MILL ST	\$14,700	\$0	\$14,700	0.09	Mineshaft parking lot		X									0.09	Unpaved private parking lot with uneven gravel surface/pot holes
35	36_2102002013	THOMAS J MASTERS	54 E SUMNER ST	\$6,100	\$0	\$6,100	0.14	Mineshaft parking lot		X									0.14	Unpaved private parking lot with uneven gravel surface/pot holes
36	36_2102002014	THOMAS J MASTERS	62 E SUMNER ST	\$29,400	\$0	\$29,400	0.20	Mineshaft parking lot		X									0.2	Unpaved private parking lot with uneven gravel surface/pot holes
37	36_2102002047	CITY OF HARTFORD	PARK AVE	\$0	\$0	\$0	0.14	Public Parking		X						X			0.14	Unpaved gravel parking lot with some potholes.
38	36_2102002048	ANTHONY W GROLL	100 E SUMNER ST	\$42,700	\$107,400	\$150,100	0.14	Public Parking												Paved surface appears in good condition.
39	36_2102002043	CITY OF HARTFORD	105 PARK AVE	\$0	\$0	\$0	0.30	Public Parking											0.3	Unpaved gravel parking lot.
40	36_2102002044	FRANK PROPERTIES I LLC	108 E SUMNER ST	\$35,800	\$46,200	\$82,000	0.12	Staffing Support Specialists												well maintained property and structure
41	36_2102002046	CITY OF HARTFORD	113 PARK AVE	\$0	\$0	\$0	0.15	Public parking		X						X			0.15	Unpaved gravel public parking lot
42	36_2102002045	THOMAS J MASTERS	116 E SUMNER ST	\$27,800	\$0	\$27,800	0.17	Mineshaft parking lot		X						X			0.17	Unpaved gravel private parking lot.
43	36_2102002008	IRISH DEVELOPMENT LLC	46 E JACKSON ST	\$52,100	\$421,600	\$473,700	0.23	Chinese Restaurant											0.23	Multiple tenants. Weeds growing on north and east of site. Overall well maintained. Façade can be brought back to original character.
44	36_2102001014	CITY OF HARTFORD	27 MILL ST	\$0	\$0	\$0	0.24	Public Parking												Well maintained. Screened trash bins. Landscaping and planters to the west
TOTAL				\$933,700	\$3,570,100	\$4,503,800	8.45												5.01	Acres in Need of Rehabilitation or Conservation Work
																			59.3%	Percent District Acreage

APPENDIX B	LEGAL DESCRIPTION
APPENDIX C	IMPACT ON OVERLYING TAXING JURISDICTIONS
APPENDIX D	TAXING JURISDICTION CORRESPONDENCE
APPENDIX E	PROPERTY OWNER CORRESPONDENCE
APPENDIX F	PROOF OF PUBLICATION
APPENDIX G	JOINT REVIEW BOARD MINUTES
APPENDIX H	PLAN COMMISSION PUBLIC HEARING MINUTES
APPENDIX I	RESOLUTION CREATING TAX INCREMENT DISTRICT #10
APPENDIX J	RESOLUTION APPROVING THE PROJECT PLAN
APPENDIX K	CITY ATTORNEY LEGAL OPINION

Executive Summary

Ordinance No. _____

Title: Review of a Rezoning Request for 220 Union Street

Background: Hartford Historic Preservation Foundation has requested rezoning for the property located at 220 Union Street, tax key number 36-2102-018-011.

The property is currently zoned Rs-4 Single Family Residential District. The requested zoning is B-3 General Business District. Hartford Historical Preservation Foundation wishes to restore the property and use the mansion for small gatherings, dinner parties and wine tastings. In addition, the HHPF intends to use the mansion as an extension of the Chandelier Ballroom, allowing guests to utilize the property as an 'inn' for bridal parties to stay when hosting weddings at the ballroom.

In August, a change was made to the City of Hartford 2030 Smart Growth Plan to allow for commercial development at this site. Following an approved rezoning, a conditional use permit application will be submitted and reviewed.

The property is surrounded by single-family and duplex zonings. One block south is B-3 General Business District zoning for multi-family and commercial uses. The property is approximately 925' to the east and 265' to the north of the Downtown Business Improvement District, an area predominately zoned B-3.

The property meets the area (5,000 square feet) requirements for B-3. There are no setback requirements in the B-3 district.

Recommendation: The Planning Staff recommends approval of the rezoning request for 220 Union Street

Prepared By: Justin Drew 9/7/16
Justin Drew Date
City Planner

Reviewed By: Lori Hetzel 09/08/16
Lori Hetzel Date
City Clerk

Approved by: Steve Volkert 9-7-16
Steve Volkert Date
City Administrator

ROUTING: PLAN COMMISSION 9/12/16
COMMON COUNCIL 9/13/16

Ordinance No.

AN ORDINANCE AMENDING THE ZONING MAP,
A PART OF ORDINANCE 278

The Common Council of the City of Hartford, Washington and Dodge Counties,
Wisconsin, do ordain as follows:

SECTION 1: That the property known as 220 Union Street, tax key number 36-2102-018-011,

be and the same is hereby rezoned to B-3 General Business District.

SECTION 2: This Ordinance shall be in full force and take effect from and after its passage and
publication as required by law.

Signed:

Timothy C. Michalak, Mayor

Introduced: September 13, 2016

Adopted:

Attest:

Lori Hetzel, City Clerk

Daily News:
August 26, 2016
September 2, 2016
34 notices sent

**NOTICE OF PUBLIC HEARING
COMMON COUNCIL**

PLEASE TAKE NOTICE that a PUBLIC HEARING will be held at 7:00 p.m. or thereafter on September 13, 2016 in the Common Council Chambers at the lower level of City Hall, 109 N. Main Street, by the City of Hartford Common Council to consider the following:

Hartford Historic Preservation Foundation has requested the rezoning of the property known as 220 Union Street, tax key number 36-2102-018-011, from Rs-4 Single Family Residential District to B-3 General Business District.

The purpose of the public hearing is to hear those persons who wish to express their opinions for or against the requested zoning change.

A copy of the proposed ordinance can be viewed at the Planning and Zoning Department by **appointment**, 109 N. Main Street, Monday- Friday between the hours of 7:30 a.m. and 4:30 p.m.

Dated this 26th day of August, 2016.

Lori Hetzel
City Clerk

2102-007-006
Jason Conrad
245 Second Street
Hartford, WI 53027

2102-007-010
Dzemail Zornic, Nurka Begovic
307 Second Street
Hartford, WI 53027

2102-008-002
James Oesreich/J. Oestreich
232 Second Street
Hartford, WI 53027

2102-008-006
Frank and Stefanie Wade
241 Third Street
Hartford, WI 53027

2102-008-008
Jacqueline Yech
217 Union
Hartford, WI 53027

2102-008-009
Roland and Susan Scherer
211 Union Street
Hartford, WI 53027

2102-008-010
Katie and Wayne Ennis
223 Union Street
Hartford, WI 53027

2102-008-011
Timothy Race McComb
203 Union Street
Hartford, WI 53027

2102-009-002
Professional Property Management of Horicon LLC
W3061 Wildcat Road
Iron Ridge, WI 53035

2102-009-006
Glen and Christine Hajek
301 Fourth Street
Hartford, WI 535027

2102-009-009
Gerald and Tracy O'Callaghan
3730 S. Teri Lane
Hartford, WI 53027

2102-009-046
David and Julie Hanrahan
305 Union Street
Hartford, WI 53027

2102009047
Thomas and C. Weber
323 Union Street
Hartford, WI 53027

2102-017-005
Daniel and Meghan Simons
444 Third Street
Hartford, WI 53027

2102-017-007
Randall and Peggy Krebs
4871 Rolling Hills Road
Hartford, WI 53027

2102-017-008
James and Susan Celmer
426 Third Street
Hartford, WI 53027

2102-017-009
Robert and Robin Ehrensberger
416 Third Street
Hartford, WI 53027

2102-017-011
Donald Miceli
316 Union
Hartford, WI 53027

2102-017-012
Alan and Diane Capps
421 Fourth Street
Hartford, WI 53027

2102-017-013
Michael Locy
429 Fourth Street
Hartford, WI 53207

2102-017-014
Megan Boehlke
437 Fourth Street
Hartford, WI 53027

2102-017-020
Jeremy Peters, Deborah Schill
306 Union Street
Hartford, WI 53027

2102-018-006
Mark Hoffmann
3780 STH 60
Slinger, WI 53086

2102-018-007
Norbert Schaefer
430 Second Street
Hartford, WI 53027

2102-018-008
Michael and Mary Beth Dallman
422 Second Street
Hartford, WI 53027

2102-018-009
Robert and Andrea Koscewski
204 Union Street
Hartford, WI 53027

2102-018-010
Karen Christensen
210 Union Street
Hartford, WI 53027

2102-018-011
Hartford Historic Preservation Foundation, Inc.
150 Jefferson
Hartford, WI 53027

2102-018-012
Cherie Hart
421 Third Street
Hartford, WI 53027

2102-018-013
Steven Cypher
433 Third Street
Hartford, WI 53027

2102-018-014
Lilac Homes LLC
P.O. Box 15
Rubicon, WI 53078

2102-019-012
Stephen and Diane Mayer
423 Second Street
Hartford, WI 53027

2102-019-013
James and Patricia Hosking
433 Second Street
Hartford, WI 53027

2102-019-020
Jamie Lang
122 Union Street
Hartford, WI 53027

Char Smelter

54

From: Freeman Legals <freemanlegals@conley.net.com>
Sent: Monday, August 08, 2016 11:51 AM
To: Char Smelter
Subject: Re: Public Hearing Notice, 220 Union Street Rezone

Char,

This will run on 8/26 and 9/2 in the Daily News.

Thank you,

Teri Malczewski
Legal Department Coordinator

Waukesha Freeman ,Oconomowoc Enterprise,
News Graphic and Daily News
Tel: 262-513-2697
Fax: 262-542-2015
Mon.-Fri. 7:00am-3:30pm

From: Char Smelter <csmelter@ci.hartford.wi.us>
Date: Mon, 8 Aug 2016 16:30:45 +0000
To: Freeman Legals <freemanlegals@conley.net.com>
Conversation: Public Hearing Notice, 220 Union Street Rezone
Subject: Public Hearing Notice, 220 Union Street Rezone

Please publish August 26 and September 2. Thanks - Char

JAHNKE & JAHNKE ASSOCIATES INC.

PLANNERS & PROFESSIONAL ENGINEERS

711 W. MORELAND BLVD., WAUKESHA, WI. 53188

TEL. No. (262) 542-5797 FAX (262) 542-7698 (E-MAIL pmuehl@jahnkeandjahnke.com)

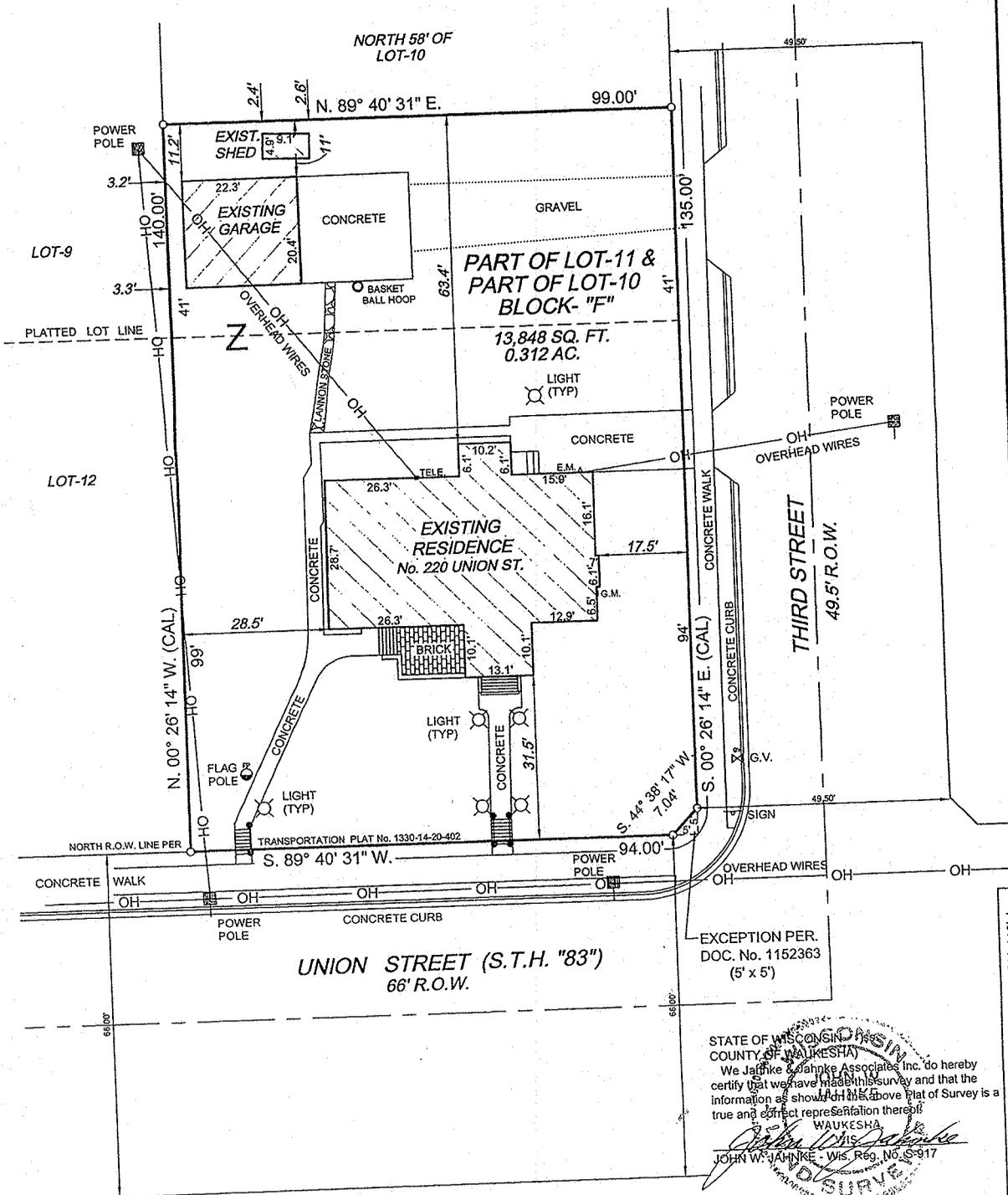
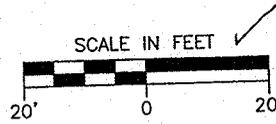
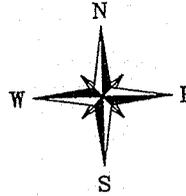
FOR: A & N CONTRACTING RE: 220 UNION STREET
 LEGAL DESCRIPTION: (Per Fidelity National Title, File Number MTX 25224, Policy Number 27307-95638652 dated March 14, 2016 at 9:35 a.m.

Lot Ten (10) in Block "F" of A.M. THOMSONS ADDITION to Hartford, City of Hartford, Washington County, Wisconsin, EXCEPTING THEREFROM the North 58 feet thereof.

And
 Lot Eleven (11) in Block "F" of A.M. THOMSONS ADDITION to Hartford, City of Hartford, Washington County, Wisconsin, EXCEPTING THEREFROM that portion described in Transportation Project Plat No: 1330-14-20-4.03 recorded on February 16, 2007, as Document No. 1152363.

Property Address: 220 Union Street
 Tax Key No.: 36 2102018011

● Iron pipes found. No pipes set as part of survey.
 REFERENCE BEARING: North R.O.W. line of Union Street has bearing of S89°40'31"W per Transportation Plat No. 1330-14-20-402



SCALE: 1"= 20'	DATE: JULY 26, 2016
DRAWN BY: P.M.	CHECKED BY: J.W.J.
BOOK NO.: WASHINGTON-413 pg 20	FILE NO.: WASHINGTON-413
	16-07-068 SHEET 1 OF 1

FILE NAME: S:\PROJECTS\IPOS\WASHINGTON-413.dwg

58

LEGAL DESCRIPTION

Fidelity National Title

EXHIBIT A

File Number: MTX 25224

Policy Number: 27307-95638652

The Land referred to in this policy is described as follows:

Lot Ten (10) in Block "F" of A.M. THOMSONS ADDITION to Hartford, City of Hartford, Washington County, Wisconsin, EXCEPTING THEREFROM the North 58 feet thereof.

and

Lot Eleven (11) in Block "F" of A.M. THOMSONS ADDITION to Hartford, City of Hartford, Washington County, Wisconsin, EXCEPTING THEREFROM that portion described in Transportation Project Plat No: 1330-14-20-4.03 recorded on February 16, 2007, as Document No. 1152363.

Property Address: 220 Union Street

Tax Key No.: 36 2102018011

CITY OF HARTFORD
REQUEST FOR ZONING CHANGE
(PLEASE PRINT OR TYPE)

For official use only	
Account #100.604.444100.44410 (#76)	
Review Fee: \$300.00	
Date Paid: _____	Received: _____

Address of Subject Property: <u>220 UNION STREET</u>	
Tax Key Number: <u>362102018011</u>	
Legal Description or Metes & Bounds Description: <u>(see attached) 2102018011</u>	
Existing Zoning: <u>residential</u>	Proposed Zoning: <u>Commercial</u>
Existing Use: <u>residential home</u>	
Proposed Use: <u>venue for private events, fundraisers</u>	

Applicant Name: <u>HARTFORD HISTORIC PRESERVATION FOUNDATION</u>		
Address: <u>150 JEFFERSON AVENUE</u>		
City: <u>HARTFORD</u>	State: <u>WI</u>	Zip: <u>53027</u>
Daytime Phone: <u>262.673.4946</u>	Fax: <u>262.673.5130</u>	Other: <u>—</u>
Owner Name: <u>SAME</u>		
Address: _____		
City: _____	State: _____	Zip: _____
Daytime Phone: _____	Fax: _____	Other: _____
Attorney Name: <u>—</u>		
Address: _____		
City: _____	State: _____	Zip: _____
Daytime Phone: _____	Fax: _____	Other: _____

REQUEST FOR ZONING CHANGE:

The Common Council may, by ordinance, amend zoning district boundaries after prior review by the Plan Commission and after holding a public hearing. The public hearing may only be held after notice of the public hearing appears in the official City newspaper for at least two consecutive weeks and at least seven days prior to the public hearing. In addition, all owners of property within 200 feet of the subject property will be notified by mail at least ten days prior to the public hearing. Once approved by the

Common Council, zoning will revert back to the previous zoning if district regulations are not met within eighteen (18) months (following proper notification).

Supporting Information:

The following supporting information must be submitted with this application:

1. Plot Plan drawn to scale of one (1) inch equals 100 feet showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area to be rezoned.
2. A reduced copy of the plot plan (subject property only). Drawing sheets should be at least 8.5 x 11 and no larger than 11 x 17.
3. A Letter of Request addressed to the City Clerk from the owner(s) of the subject property.
4. Additional information required by the City Staff or any information that the applicant would like to submit to support the application.

Signature of Applicant: _____

Date: _____

7.26.16

Signature of Owner (if different): _____

Date: _____

(Power of Attorney or written authorization required if owner is unable to sign.)

Executive Summary

Title: Site Plan Review for Birch Crossing Apartments, located north of the current terminus of Liberty Avenue.

Background: The Common Council approved the Annexation Petition and assigned a temporary zoning of Rm-3 in July, 2016. The Plan Commission approved a Conditional Use Permit for a Planned Unit Development (PUD) in August. The PUD allows for 12-unit buildings. Premier Real Estate Management has submitted a plan for seven 12-unit buildings.

The property is zoned Rm-3 Multi-Family Residential. Multi-Family buildings of this size are allowed in the Rm-3 Multi-Family Residential District as a Conditional Use (up to 24 unit buildings can be approved).

Because the development involves the dedication of public Right-of-Way, approval will need to be conditioned upon City approval of a Certified Survey Map.

Site Plan Criteria and Staff Comment:

Section 13.0322 (h) of the Municipal Code grants the Plan Commission the power to review and approve site plans based on the following criteria:

Adjacent Uses, General Layout

The property is surrounded by the Rubicon River to the north, undeveloped town land to the west, the Libby Lagoon to the east, and Wal-Mart to the south.

The proposed multi-family buildings would be arranged around both sides of an extended Liberty Avenue. Three of the buildings east of Liberty Avenue extended would be arranged around a private driveway. Building placement shifted somewhat due to the presence of wetlands and floodplain on the property.

The proposed Multi-Family buildings would have the following setbacks and lot coverage:

- **26 feet** from the proposed extended Liberty Avenue Right-of-Way
- **25 feet** from the western property line
- **135 feet** from the eastern property line
- **40 feet** from the northern property line
- Lot Coverage would be approximately **12.4%** of the 15.0-acre site, below the 25% maximum allowed by Code in the Rm-3 District.

Adherence to the Smart Growth Plan & Compliance with Zoning Requirements

The adopted Smart Growth Plan identifies this area for medium density residential development (5.8 – 8.0 units per acre). The area to the west and south calls for commercial development as well. The area to the north is identified as conservancy and is not intended to be developed. The density proposed for this development would be 6.1 units per acre.

As proposed, the site plan would meet the zoning requirements (*setbacks, lot coverage, etc.*) of the Rm-3 zoning District with an approved Planned Unit Development.

Building Plans

The Developer proposes two bedroom apartments arranged in 12-unit structures. The proposed buildings would be two stories tall. Buildings would have 1-car attached garage stalls for each unit. There would be no common hallways. In addition, a maintenance building is proposed at the south end of the development.

Overall, the buildings are proposed in a Prairie Style, with low roof pitches and large overhangs. The façade would be composed of a brick wainscot around the first floor, first floor brick at the corners of the buildings, with two tones of vinyl siding on the second floor, as well as vinyl “cedar” shake accents between some of the windows. Numerous changes of plane and windows are present along each façade. Dormers do a good job of breaking up the scale of the building. Colors would include tan, gray, taupe, and green. Overall, Staff believes that the proposed design is appropriate and is comparable to recent apartments that have been approved.

Accessibility, Traffic and Parking

The plan proposes an extension of the Liberty Avenue Right-of-Way north of its current terminus. The Right-of Way would travel north, then angle towards the northwest. This layout would facilitate the continued expansion of Liberty Avenue towards the northwest, and Staff supports the proposed layout.

The City always insists on at least two access points (or the potential for two access points when additional development occurs) to ensure proper emergency access. The plan will meet this requirement when the east and west ends of Liberty Avenue connect. In the interim, the buildings flank both sides of the proposed Liberty Avenue extension, and emergency access is satisfactory.

Public sidewalk is shown on the west side of Liberty Avenue extended and an 8-foot wide asphalt trail is proposed for the east side of Liberty Avenue extended. At some point in the future, the Rubicon River Trail will extend just north of this development. In order to allow access to this trail, Staff will work with the Developer to identify potential pathways within the development, as well as identifying a pedestrian easement on the west side of the property. This easement can be incorporated into the Certified Survey Map.

The proposal indicates 84 garage stalls, 83 parking stalls, and parking space in front of each attached garage. In total, 251 parking spaces are provided, or an average of 2.9 spaces per unit (the Code requires 2 spaces per unit).

Grading, Storm Water Management, and Utilities

The property slopes down from southwest to northeast. The grading plan calls for the southwest portions of the development to be brought down and the lower areas near the river to be brought up, creating a fairly flat development site. Stormwater will be directed to a series of ponds towards the Rubicon River. An engineering consultant is reviewing the grading plan, and City Staff will notify the developer if any changes are required.

Sanitary sewer and water main are located in the Liberty Avenue Right-of-Way directly south of the property. Some minor changes to the type, size, and coverage of the mains were required, and the Developer is working to amend the infrastructure construction plans.

The Developer is also working with Hartford Electric to establish easement locations.

Landscaping, Dumpster Enclosure, and Lighting

The submitted landscape plan shows 32 Black Hills Spruce, 13 Autumn Blaze Maples, and 8 Thornless Honey Locusts, as well as 81 ornamental trees planted around the buildings and driveways. Many of the spruce trees and some of the junipers are proposed to be located near the south and west property line. This is the most likely location for the electric easement. If the electric easement is located in these areas, those spruce and junipers will need to be relocated to other locations on the site.

A large number of deciduous and evergreen shrubs and flowers would surround the foundation of each building (more than 127 per building). This is a very attractive landscaping plan and will serve the development well.

However, no street trees are shown along the Liberty Avenue Right-of-Way on the landscape plan. Street Trees are required by 12.0815 of the Code. The Developer will need to submit a street tree plan within two months. The volunteer City Forester will review and approve the plan.

Trash enclosures are shown on each side of each building. Staff recommends that the dumpster be enclosed with wood fencing and a gate.

A photometric plan has not been submitted. If exterior parking lot lights are proposed, a photometric plan meeting City requirements will need to be reviewed and approved.

Recommendation: The Planning Staff recommends APPROVAL of the Site Plan for Birch Crossing Apartments, located north of the current terminus of Liberty Avenue, subject to City approval of a Certified Survey Map, and submittal of a Street Tree Plan within two months of site plan approval.

Prepared By: Justin Drew 9/8/16
Justin Drew, Date
City Planner

Reviewed By: Jason M. Schall 9-8-16
Jason Schall, Date
City Engineer

Approved By: Steve Volkert 9-8-16
Steve Volkert, Date
City Administrator

ROUTING: PLAN COMMISSION 09/12/16

CITY OF HARTFORD
APPLICATION FOR SITE PLAN REVIEW
(PLEASE PRINT OR TYPE)

For official use only

Account #100.604.440000.44420 (#78)

<input type="checkbox"/> Site Plan Minor/No additional sf:	\$250.00	Date of PC Review: _____
<input type="checkbox"/> Site Plan, <10,000 sf construction	\$400.00	Zoning Administrator signoff: _____
<input type="checkbox"/> Site Plan, 10,000 - 50,000 sf	\$600.00	_____
<input type="checkbox"/> Site Plan, Industrial Construction, >50,000 sf	\$800.00	
<input checked="" type="checkbox"/> Site Plan, Commercial Construction, >50,000 sf	\$800.00	

Date Paid: _____ Total Fees Paid: _____

Project Name: HARTFORD BIRCH CROSSING

Project Location (Address or Legal Description): LIBERTY AVE. EXTENSION
SEE ATTACHED LEGAL DESCRIPTION

Tax Key Number: 040200Y Zoning: AG (Town)
RM-3 (City)

General Project Description: MULTIFAMILY RESIDENTIAL APARTMENTS (7-12 UNIT BLDGS)

Applicant Name: TIM LYNCH
LYNCH and ASSOCIATES - ENGINEERING CONSULTANTS

Address: 582 S. WESTRIDGE DRIVE

City: NEW BERLIN State: WI Zip: 53151

Daytime Phone: 262-790-4560 Fax: 262-790-4570 Other: _____

Owner Name: GARY DOLL and Laura Doll Revocable Trust

Address: 5956 LOG HOUSE RD.

City: HARTFORD State: WI Zip: 53027

Daytime Phone: 314-651-0128 Fax: _____ Other: _____

Contractor Name: _____

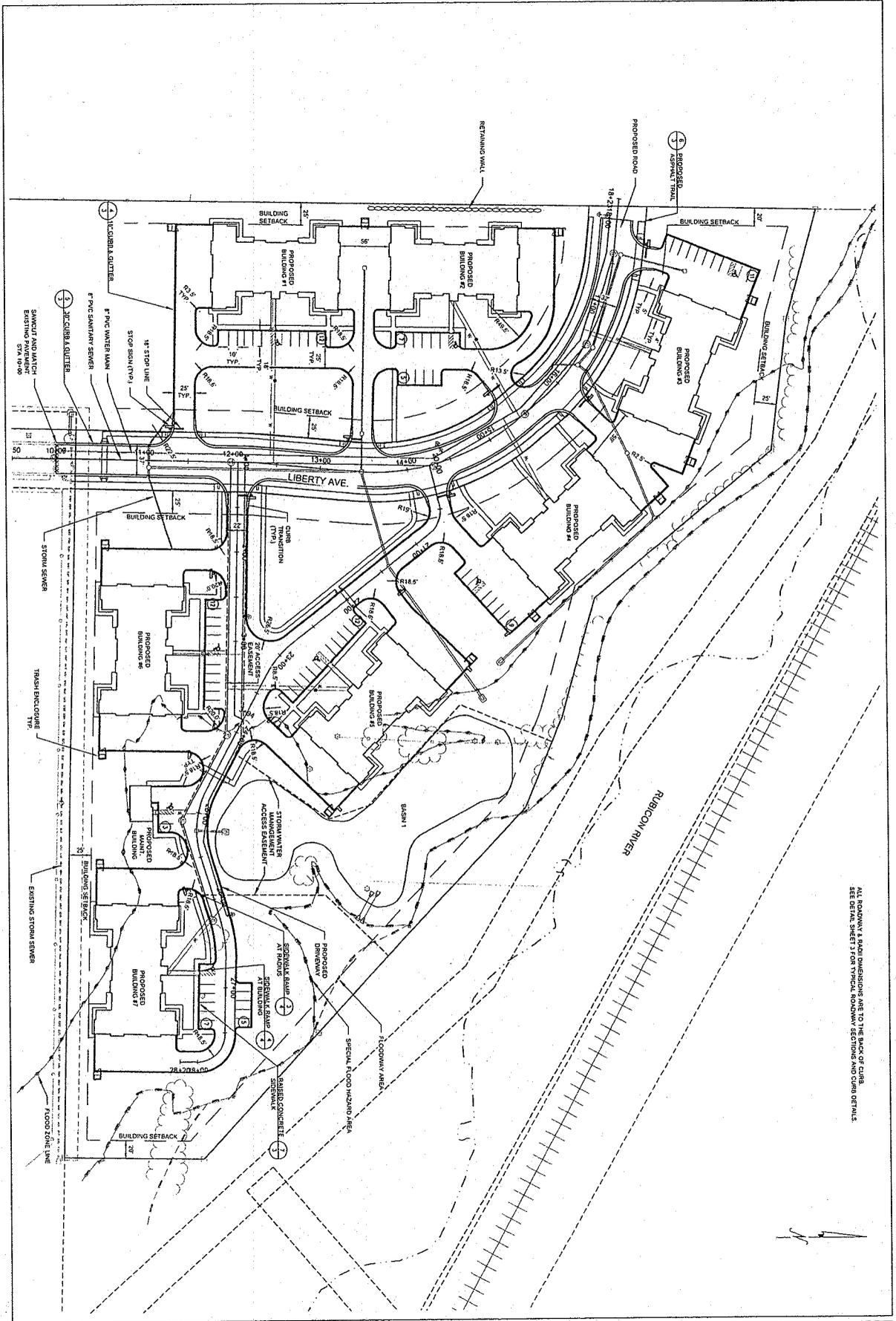
Address: _____

City: _____ State: _____ Zip: _____

Daytime Phone: _____ Fax: _____ Other: _____

See attached information regarding submittal requirements.

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ALL DIMENSIONS & PAINT DIMENSIONS ARE TO THE BACK OF CURB.
SEE DETAIL SHEET 7 FOR TYPICAL ROADWAY SECTION AND CURB DETAILS.

SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
SITE PLAN

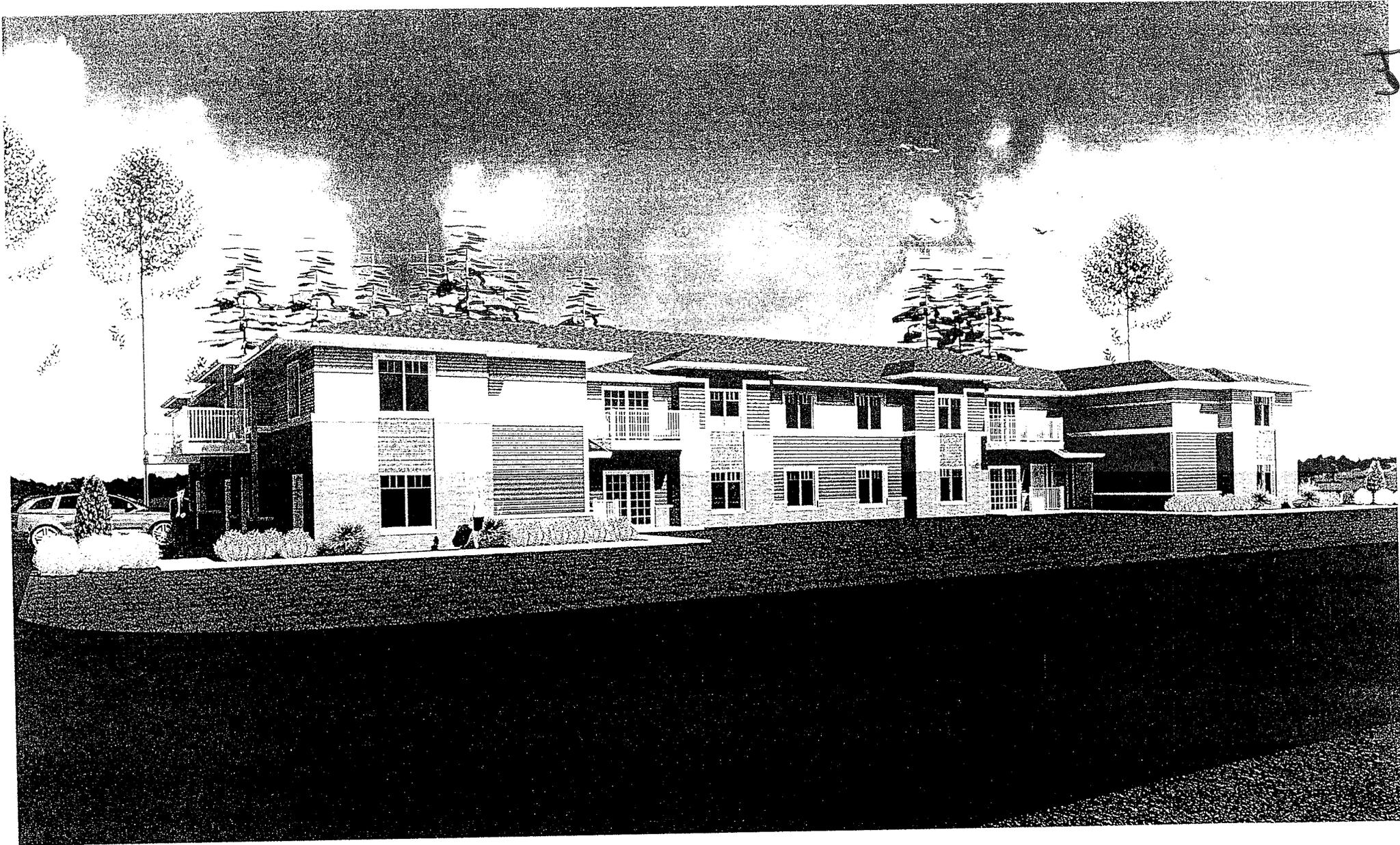
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

PRELIMINARY
INITIALS DATE
DESIGNED DWG 04/18/16
DRAWN P50 04/18/16
CHECKED TOL 04/18/16
SCALE
0" = 50'
PROJECT NO.
16-0003
SHEET NO.
5 of 17

NO.	REVISIONS	BY	DATE

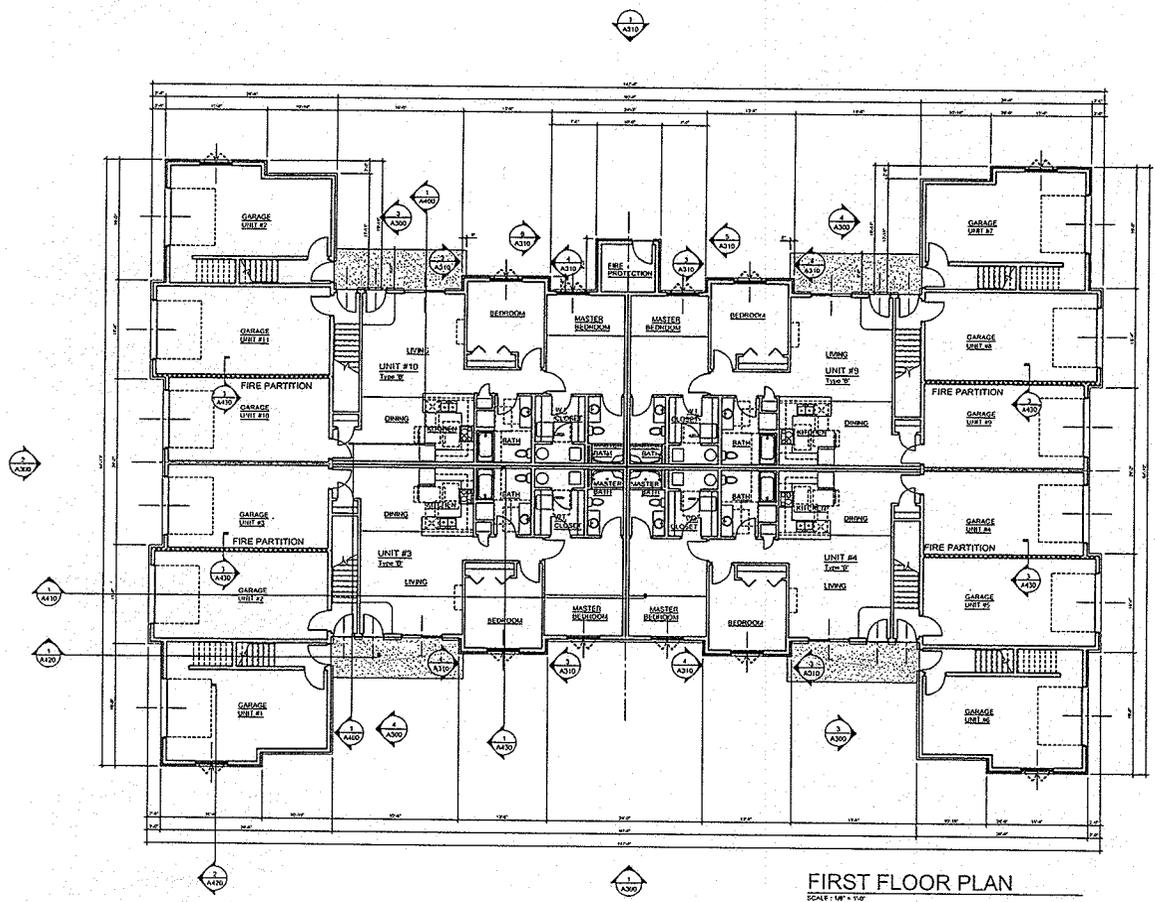
LYNCH & ASSOCIATES
5483 S. WESTRICH DR
NEW BERLIN, WI 53151
(262) 405-1500

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FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES:

1. PROVIDE WALLS AS SHOWN UNLESS OTHERWISE NOTED.
2. ALL DOORS TO BE SWUNG AS SHOWN.
3. STAIRS TO BE CONFORM TO ALL APPLICABLE CODES AND REGULATIONS. PROVIDE HANDRAILS AND GUARDS AS REQUIRED BY ALL APPLICABLE CODES AND REGULATIONS.
4. LOCATE ALL ACCESS DOORS AS SHOWN OR INDICATED. ALL DOORS TO BE CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
5. ALL ROOMS TO BE BATHS, HALLS AND STAIRS TO BE PROVIDED WITH SMOKE DETECTORS AS SHOWN OR INDICATED. PROVIDE SMOKE DETECTORS AS SHOWN OR INDICATED.
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FIRE ALARM SYSTEM NOTES:

1. THE FIRE ALARM SYSTEM SHALL BE PROVIDED AS SHOWN OR INDICATED.
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ELECTRICAL NOTES:

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Timothy E. Schuler
Architect
1000 Wisconsin Ave., Suite 1000
Madison, WI 53703-4423
TEL: 608.261.1000
FAX: 608.261.1001
www.teschuler.com

PREMIER
ARCHITECTURAL
1000 Wisconsin Ave., Suite 1000
Madison, WI 53703-4423
TEL: 608.261.1000
FAX: 608.261.1001
www.premierarchitect.com

BIRCH CROSSINGS
PREMIER BIRCH CROSSINGS, LLC
HARTFORD, WISCONSIN

DATE	DESCRIPTION

DATE: 7.1.2018
SCALE: AS SHOWN
PROJECT: A-100 (4) 1/2
DRAWN: TFS
PROJECT: 23100
SHEET NUMBER: A-100



67

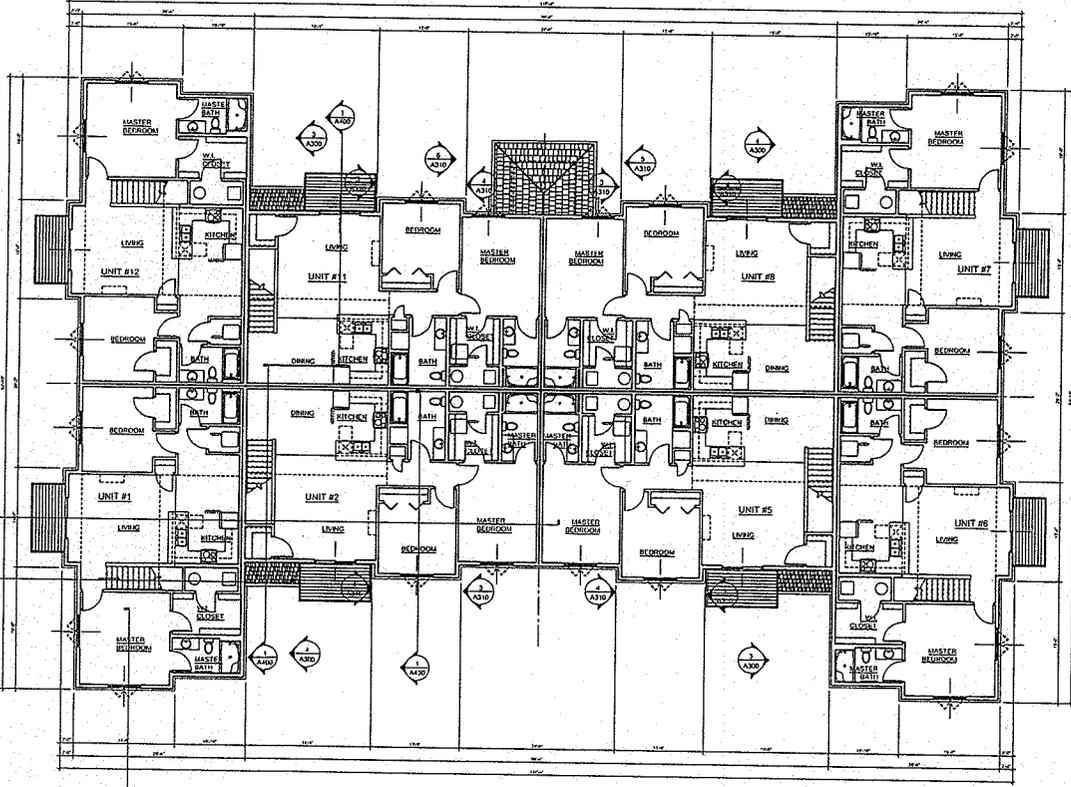
Timothy E. Stibel
Architect
1075 96th Street
Wauwatosa, WI 53190-4423
414-774-7777
www.stibel.com

PREMIER
BUILDERS
11111 LILLIAN AVE. SUITE 100
WILSON, WI 53190
414-774-7777
www.premierbuilders.com

BIRCH CROSSINGS
PREMIER BIRCH CROSSINGS, LLC
W. SUNNERS STREET
HARTFORD, WISCONSIN

REV	DESCRIPTION	DATE

Drawn: T. Stibel
Scale: As Shown
File Name: A-110.dwg
User: TES
Project: 2010B
Sheet: SECOND FLOOR
A-110



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES:

1. WALLS SHALL BE SUPPORTED BY FOUNDATION.
2. SEE FLOOR PLAN FOR FINISHES.
3. SEE FLOOR PLAN FOR FINISHES.
4. ALL INTERIORS SHALL BE FINISHED WITH 1/2" GYP BOARD UNLESS OTHERWISE NOTED.
5. LOCATE ALL ACCESS ON SECOND FLOOR AS INDICATED ON THE FLOOR PLAN.
6. ALL ROOMS SHALL BE FINISHED WITH 1/2" GYP BOARD UNLESS OTHERWISE NOTED.
7. FINISHES TO BE 1/2" GYP BOARD UNLESS OTHERWISE NOTED.
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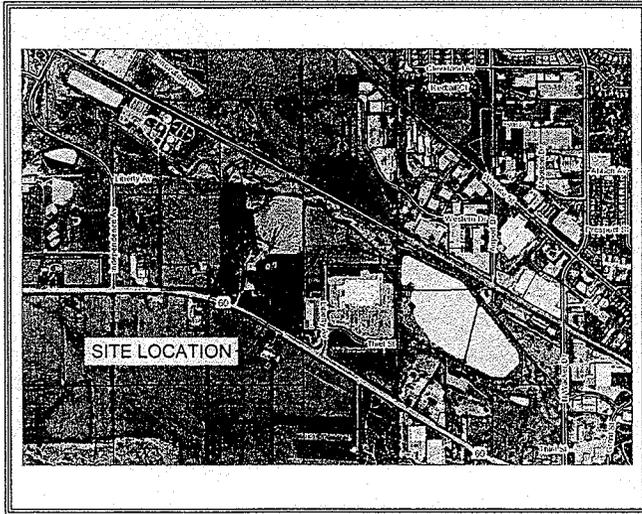
FIRE ALARM SYSTEM NOTES:

1. ALL FIRE ALARMS SHALL BE INSTALLED AS SHOWN ON THE FLOOR PLAN.
2. ALL FIRE ALARMS SHALL BE INSTALLED AS SHOWN ON THE FLOOR PLAN.
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11. ALL FIRE ALARMS SHALL BE INSTALLED AS SHOWN ON THE FLOOR PLAN.

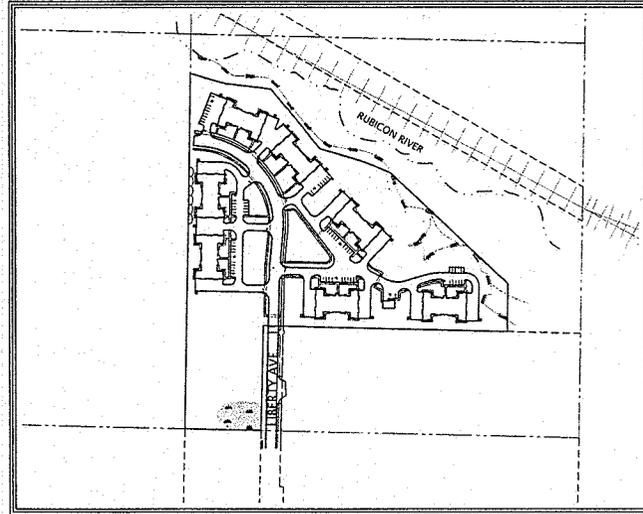
ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE INSTALLED AS SHOWN ON THE FLOOR PLAN.
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10. ALL ELECTRICAL WORK SHALL BE INSTALLED AS SHOWN ON THE FLOOR PLAN.
11. ALL ELECTRICAL WORK SHALL BE INSTALLED AS SHOWN ON THE FLOOR PLAN.

SITE IMPROVEMENT PLANS FOR HARTFORD BIRCH CROSSING CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN



VICINITY MAP



SITE MAP



LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

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SITE IMPROVEMENT PLANS
FOR
HARTFORD BIRCH CROSSING
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

SHEET INDEX

1	TITLE SHEET, INDEX, VICINITY MAP & SITE MAP
2	DETAILS SHEET
3	DETAILS SHEET
4	DETAILS SHEET
5	SITE PLAN
6	LIBERTY AVE. EXTENSION SANITARY PLAN & PROFILE
7	SOUTH DRIVE SANITARY PLAN & PROFILE
8	NORTH DRIVE SANITARY PLAN & PROFILE
9	LIBERTY AVE. EXTENSION WATER MAIN PLAN & PROFILE
10	SOUTH DRIVE WATER MAIN PLAN & PROFILE
11	NORTH DRIVE WATER MAIN PLAN & PROFILE
12	LIBERTY AVE. EXTENSION PLAN & PROFILE
13	SOUTH DRIVE PLAN & PROFILE
14	NORTH DRIVE PLAN & PROFILE
15	GRADING PLAN
16	STORM WATER POND DETAILS
17	EROSION CONTROL PLAN



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL DIGGER'S HOTLINE TOLL FREE 800-242-8511 (414-238-1181 MILWAUKEE METRO) (TDD: 800-542-2299) www.diggershotline.com
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

CAUTION NOTICE TO CONTRACTOR

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATION OF ALL PARTICIPANTS UNDERGROUND FACILITIES BEFORE EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATION OF ALL PARTICIPANTS UNDERGROUND FACILITIES BEFORE EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATION OF ALL PARTICIPANTS UNDERGROUND FACILITIES BEFORE EXCAVATION.

INITIALS DATE DESIGNED DKV 08/18/16 DRAWN PSD 08/18/16 CHECKED TCL 08/18/16	0 INCHES SCALE PROJECT NO. 16-0003
NO. REVISIONS BY DATE	

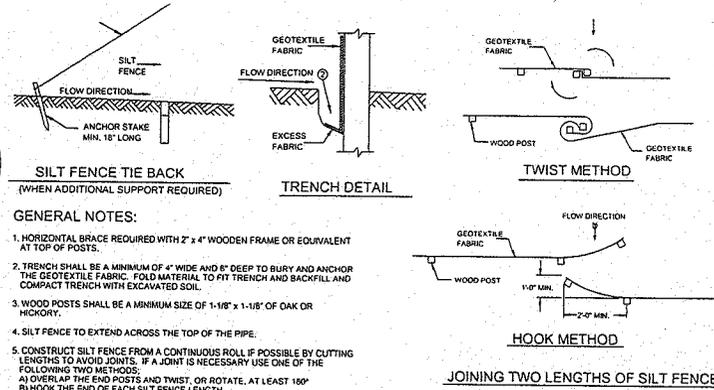
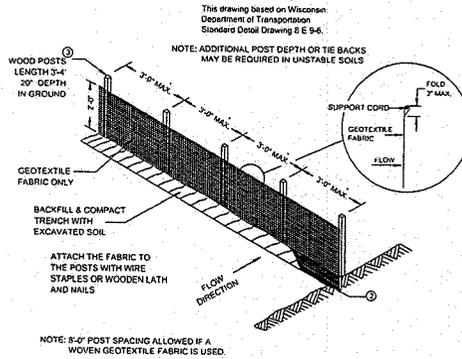
TITLE SHEET, INDEX, VICINITY MAP & SITE MAP	SHEET NO. 1 of 17
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EROSION CONTROL NOTES:

1. DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARDS.
2. WHEN POSSIBLE, THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE WITH ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
3. CONTRACTOR SHALL CHECK ALL EROSION CONTROL MEASURES EVERY SEVEN DAYS OR WITHIN 24 HOURS AFTER EACH 0.5 INCH RAINFALL AND PROVIDE ANY MAINTENANCE REQUIRED FOR CONFORMANCE WITH THIS PLAN. CONTRACTOR SHALL MAINTAIN LOG OF INSPECTIONS WHICH SHALL BE KEPT ON-SITE.
4. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE PLACED ON AREAS TO BE VEGETATED.
5. SEEDING SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
6. SEEDING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 630 OF WISDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. A NO. 40 MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1000 S.F.
7. PLACE MULCH AND TACKIFIER ON THE SEEDED AREAS.
8. DISTURBED AREAS LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH, OR WISDOT-APPROVED POLYMER.
9. TEMPORARY SEEDING:
ANNUAL RYE GRASS AT 25 lbs/ACRE
LATE SEASON TEMPORARY SEEDING (SEPT. 15 TO OCT. 15): WINTER WHEAT AT 2 BUSHELS/ACRE
DORMANT SEEDING (AFTER NOV. 1):
NO. 10 MIXTURE AT 4 POUNDS PER 1000 S.F.
10. POLYMER MUST BE APPLIED TO ALL DISTURBED AREAS IF SEEDING IS NOT COMPLETED BY OCTOBER 15.
11. IF DEWATERING IS NECESSARY, DIRECT DISCHARGE INTO THE SEDIMENT BASIN. THE MAXIMUM PUMPING RATE INTO THE POND IS 200 GPM. ALTERNATE DEWATERING OPERATIONS MUST BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 "DEWATERING".
12. TOPSOIL PILES LEFT IN PLACE FOR LONGER THAN 14 DAYS MUST BE STABILIZED WITH TEMPORARY SEEDING.
13. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
14. RECYCLE OR PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS IN A TIMELY MANNER. CONTROL RUNOFF FROM WASTE MATERIALS UNTIL THEY ARE REMOVED OR REUSED.
15. BY THE END OF EACH WORKDAY, CLEAN UP ALL OFF-SITE SEDIMENT DEPOSITS OR TRACKED SOIL THAT ORIGINATED FROM THE PERMITTED SITE. FLUSHING SHALL NOT BE ALLOWED UNLESS RUNOFF IS TREATED BEFORE DISCHARGE FROM THE SITE.

CONSTRUCTION SEQUENCE:

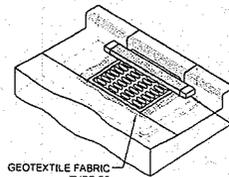
1. CONSTRUCT STONE TRACKING PAD AT THE PROPOSED ENTRANCE.
2. INSTALL SILT FENCE AT THE LOCATIONS NOTED ON THE PLANS. THIS MUST BE DONE BEFORE ANY GRADING ACTIVITIES TAKE PLACE.
3. INSTALL INLET PROTECTION FOR EXISTING INLETS.
4. CONSTRUCT THE SEDIMENT TRAP AT SOUTHWEST CORNER OF THE PROPERTY.
5. CONSTRUCT BASIN #1 TO BE USED AS A SEDIMENT BASIN AND TEMPORARY BERMS TO DIRECT RUNOFF INTO THE SEDIMENT BASIN. INSTALL THE PERMANENT 12" RCP OUTLET WITH A 3" DIA. ORIFICE TO BE USED AS AN OUTLET DURING CONSTRUCTION.
6. TOPSOIL IS TO BE STRIPPED AND STOCKPILED. THE STOCKPILE IS TO BE PROTECTED WITH SILT FENCE WITHIN 7 DAYS AND SEEDED WITHIN 30 DAYS OF LAYUP.
7. ROUGH GRADING MAY TAKE PLACE AFTER TOPSOIL STRIPPING.
8. UTILITY INSTALLATION WILL TAKE PLACE DURING ROUGH GRADING. ALL CATCH BASINS AND INLETS ARE TO BE PROTECTED IMMEDIATELY AFTER INSTALLATION IN ACCORDANCE WITH THE DETAILS IN THESE PLANS.
9. PERMANENT SEEDING TO BE COMPLETED BY OCTOBER 15TH OF THE YEAR GRADING WORK IS COMPLETED OR BY JUNE 1ST OF THE FOLLOWING YEAR.



GENERAL NOTES:

1. HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
2. TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/8" x 1-1/8" OF OAK OR HICKORY.
4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180°
B) HOOK THE END OF EACH SILT FENCE LENGTH.
6. SILT FENCE SHALL BE INSTALLED USING CURRENT WADOT STANDARDS AT THE TIME OF CONSTRUCTION.

SILT FENCE $\frac{1}{2}$



INSTALLATION NOTES:

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

GENERAL NOTES:

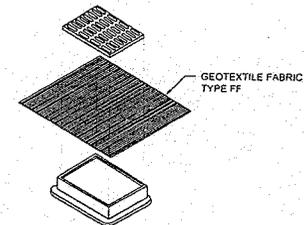
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

INSTALLATION NOTES:

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

INLET PROTECTION SHALL BE INSPECTED AT A MINIMUM WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES DURING A 24 HOUR PERIOD. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN ACCUMULATION TOTALS BETWEEN 1/2" AND 1" THE DESIGN DEPTH OF THE DEVICE OR WHEN THE DEVICE IS NOT FUNCTIONING AS DESIGNED. DURING REMOVAL OF INLET PROTECTION ENSURE SEDIMENT DOES NOT FALL INTO THE INLET. ANY MATERIAL WHICH FALLS INTO THE INLET SHALL BE REMOVED.

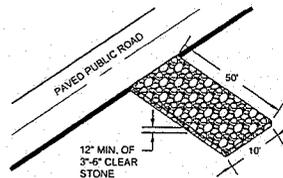
INLET PROTECTION TYPE C $\frac{3}{2}$



INSTALLATION NOTES:

FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET. INLET PROTECTION SHALL BE INSPECTED AT A MINIMUM WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES DURING A 24 HOUR PERIOD. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN ACCUMULATION TOTALS BETWEEN 1/2" AND 1" THE DESIGN DEPTH OF THE DEVICE OR WHEN THE DEVICE IS NOT FUNCTIONING AS DESIGNED. DURING REMOVAL OF INLET PROTECTION ENSURE SEDIMENT DOES NOT FALL INTO THE INLET. ANY MATERIAL WHICH FALLS INTO THE INLET SHALL BE REMOVED.

INLET PROTECTION, TYPE B $\frac{4}{2}$



NOTE: PLACE WISDOT TYPE R GEOTEXTILE FABRIC UNDER STONE IF SATURATED CONDITIONS ARE EXPECTED.

STONE TRACKING PAD $\frac{2}{2}$

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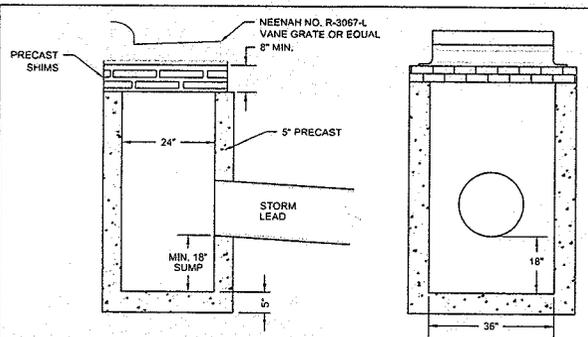
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BY: _____
REVISIONS: _____
NO. _____

SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
DETAILS SHEET

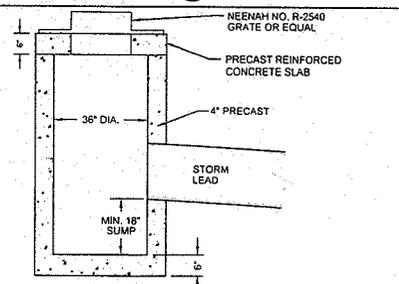
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

PRELIMINARY
INITIALS DATE
DESIGNED DKV 08/18/16
DRAWN PSD 08/18/16
CHECKED TCL 08/18/16

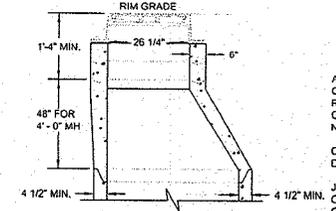
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PROJECT NO.
16-0003
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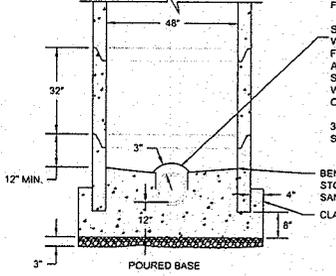
CATCH BASIN DETAIL 1/3



CATCH BASIN DETAIL 2/3



SANITARY SEWER PRE-CAST MANHOLE DETAIL 3/3



ADJUST FRAME TO GRADE WITH BRICK OR CONCRETE RINGS OF VARIABLE THICKNESS, MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.

CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.

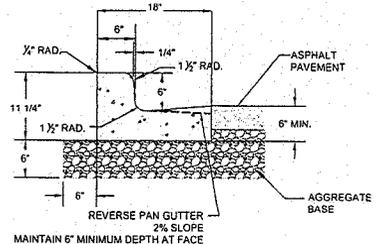
JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING MORTAR OR BUTYL RUBBER GASKETS FOR STORM AND BUTYL RUBBER GASKETS FOR SANITARY MANHOLES.

AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT.

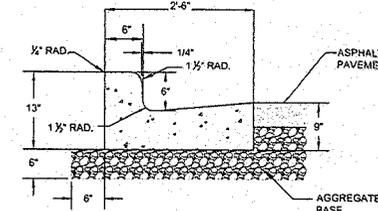
SPACE BETWEEN PIPE AND PRECAST MANHOLE WALL TO BE FILLED WITH BRICK MORTARED IN PLACE EXCEPT THAT AN APPROVED FLEXIBLE WATERTIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL FLEXIBLE SANITARY SEWER CONNECTIONS. THE ANNULAR SPACE BETWEEN THE PIPE AND MANHOLE WALL SHALL BE FILLED WITH FLEXIBLE BUTYL RUBBER GASKET MATERIAL BELOW SURFACE OF BENCH OR SPRINGLINE.

3-INCH STONE CUSHION UNDER BASE IS REQUIRED ONLY ON WET SUB-GRADE.

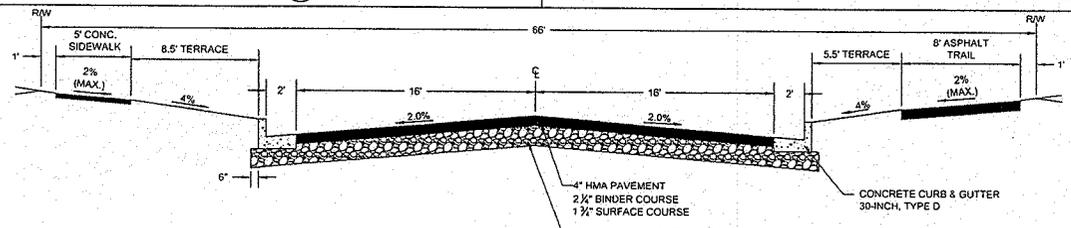
BENCH SLOPE:
STORM MANHOLE = 1" PER FOOT
SANITARY MANHOLE = 2" PER FOOT
CLASS 10 CONCRETE



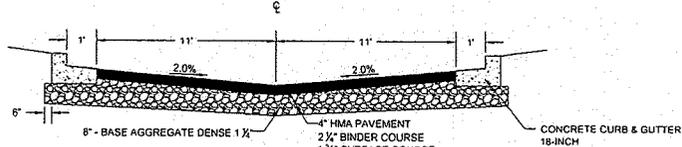
TYPICAL 18" VERTICAL FACE CURB DRIVEWAYS 4/3



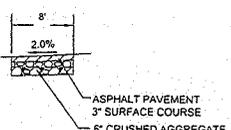
TYPICAL 30" VERTICAL FACE CURB LIBERTY AVENUE 5/3



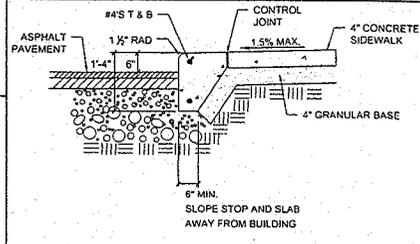
PROPOSED TYPICAL SECTION LIBERTY AVENUE



PROPOSED TYPICAL SECTION DRIVEWAY



ASPHALT TRAIL DETAIL 6/3



RAISED CONCRETE SIDEWALK N.T.S. 7/3



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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
DETAILS SHEET

CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

PRELIMINARY

INITIALS	DATE
DESIGNED DKV	08/18/16
DRAWN PSD	08/18/16
CHECKED TCL	08/18/16

0 N.T.S.
SCALE

PROJECT NO.
16-0003

SHEET NO.
3 OF 17

73

LYNCH & ASSOCIATES
CONSULTING ENGINEERS

5482 S. WESTRIDGE DRIVE
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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
DETAILS SHEET
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

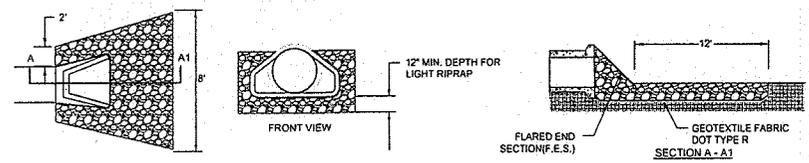
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INITIALS DATE
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SCALE

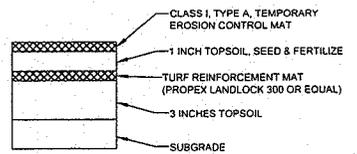
PROJECT NO.
16-0003

SHEET NO.
4 OF 17

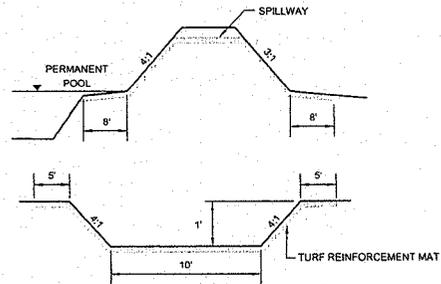


- NOTES:**
- EXCAVATE TO ONE FOOT BELOW PIPE OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIPRAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
 - PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF ONE FOOT.
 - EXERCISE CARE IN RIPRAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
 - PLACE RIPRAP ON ZERO GRADE, TOP OF RIPRAP TO BE LEVEL WITH PROPOSED OUTLET NO OVERFALL AT ENDS.
 - RIPRAP SHALL BE MEDIUM RIPRAP IN ACCORDANCE WITH SECTION 606 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.
 - LINE CHANNEL TO TOP OF BANKS FOR A DISTANCE OF 12' DOWNSTREAM. NO RESTRICTION OF CHANNEL CROSS SECTION SHOULD EXIST.

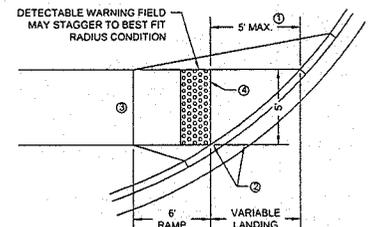
FLARED END SECTION (F.E.S.) AND RIPRAP DETAIL (1/4)



TURF REINFORCEMENT MAT

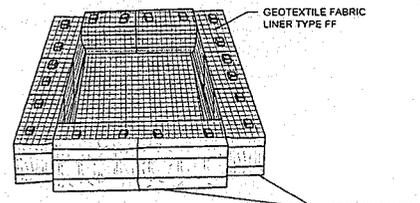


EMERGENCY SPILLWAY (2/4)



CURB RAMP AT RADIUS (3/4)

- WHEN THIS DISTANCE EXCEEDS 5 FEET, STAGGER ADDITIONAL DETECTABLE WARNING PANEL FORWARD TO REDUCE THIS DISTANCE. PROVIDE MINIMUM 12-INCH ROW OVERLAP TO AVOID SIDESTEP OF DOME DETECTION. ALIGN DOMES BETWEEN OVERLAPPING ROW AND IN DIRECTION OF PEDESTRIAN TRAVEL.
- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE ALLOWED. SLOPE OF CURB HEAD OPENING SHALL NOT EXCEED 7%.
- PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LANDING SIZE IS 5 FEET X 5 FEET (MINIMUM 4 FEET X 4 FEET).
- PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.



IF DEWATERING IS NECESSARY, A PUMP WILL BE PLACED WHERE NEEDED. AT THE POINT OF DISCHARGE THE WATER BEING PUMPED OUT WILL FLOW INTO A TEMPORARY SETTLING BASIN AS SHOWN ON THE PLANS. SIZING OF THE TEMPORARY SETTLING BASIN SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.

SIZE TO BE DETERMINED IN FIELD AS INDICATED BELOW:
STORAGE VOLUME (C.F.) = 16 x GPM (PUMP RATE)

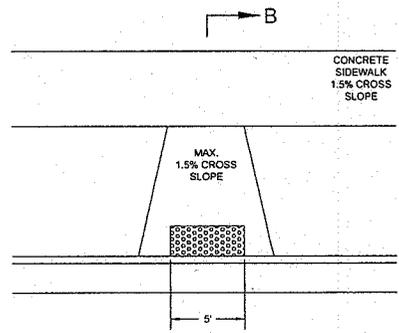
EXAMPLE:
CONTRACTOR INDICATES PUMP CAPABLE OF 50 GPM
HEIGHT OF BALES = 1.5 FT

SOLUTION:
SV(C.F.) = 16 x 50 GPM = 800 C.F.

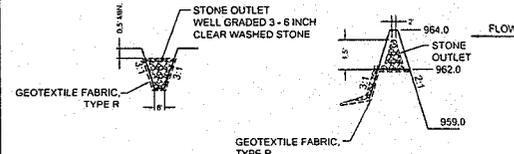
800 C.F. = 533 S.F.
1.5 FT.

USE A 20' x 27' BASIN

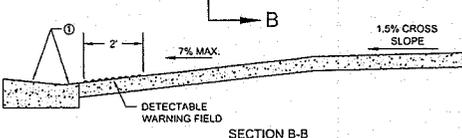
DEWATERING PLAN



ANTI-SEEP COLLAR (5/4)

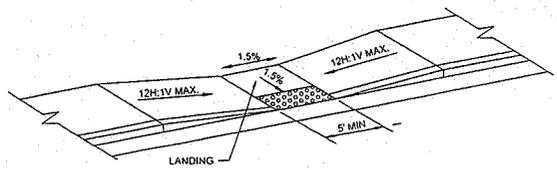


SEDIMENT TRAP OUTLET (6/4)

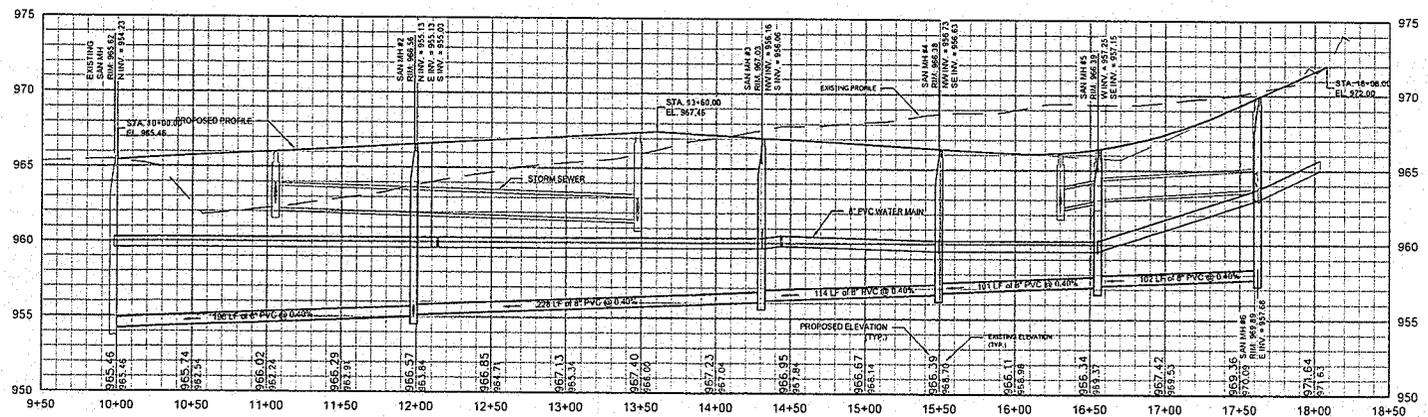
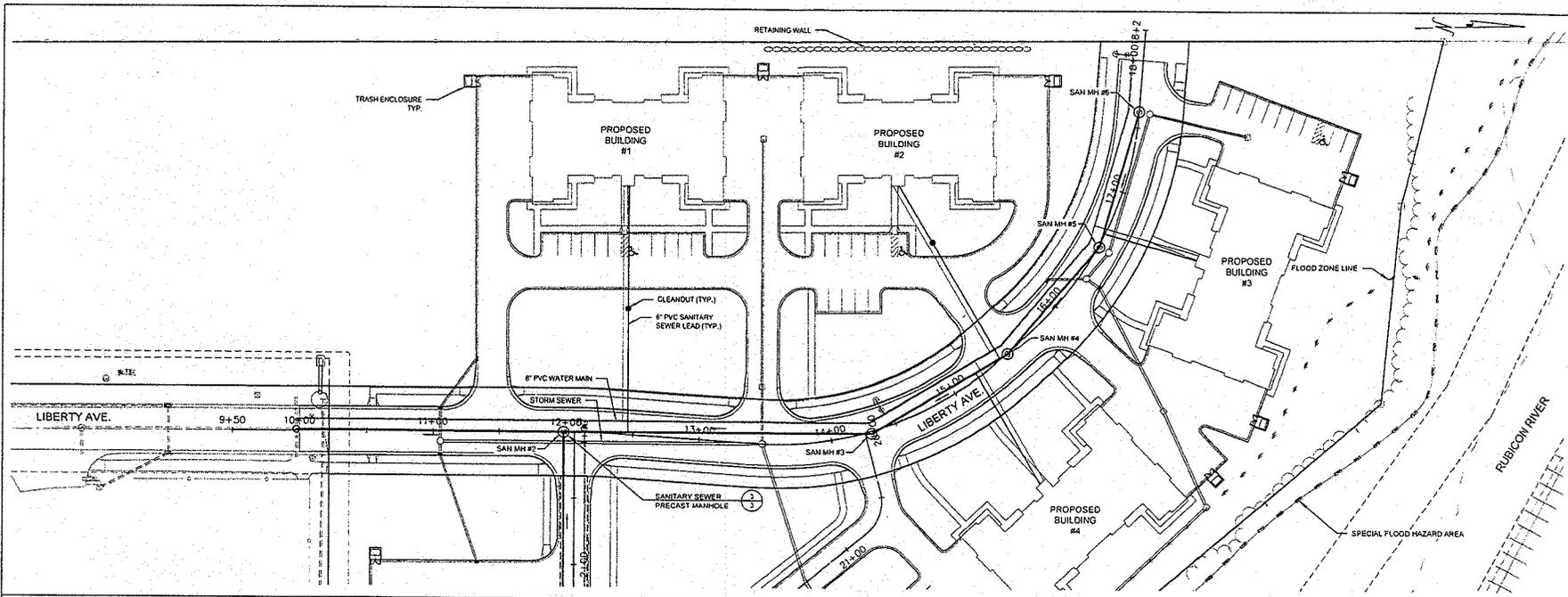


- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE ALLOWED. SLOPE OF CURB HEAD OPENING SHALL NOT EXCEED 7%.

CURB RAMP DETAIL AT MIDBLOCK (7/4)



CURB RAMP DETAIL AT BUILDINGS (4/4)



LIBERTY AVE EXT PROFILE

SCALE: H: 1"=40' V: 1"=4'

AL

LYNCH & ASSOCIATES
 5482 S. WESTRIDGE DRIVE
 NEW BERLIN, WI 53151
 (262) 402-5040

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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
LIBERTY AVE. EXTENSION SANITARY PLAN & PROFILE
 CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

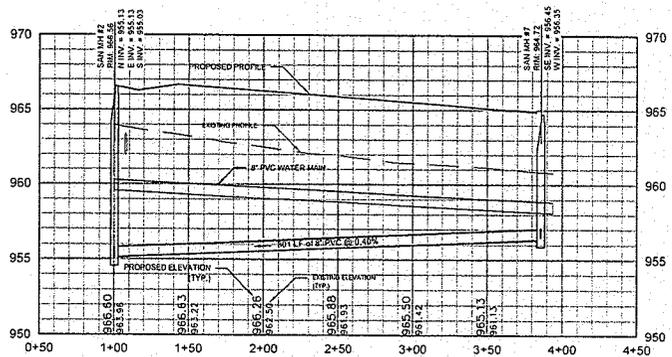
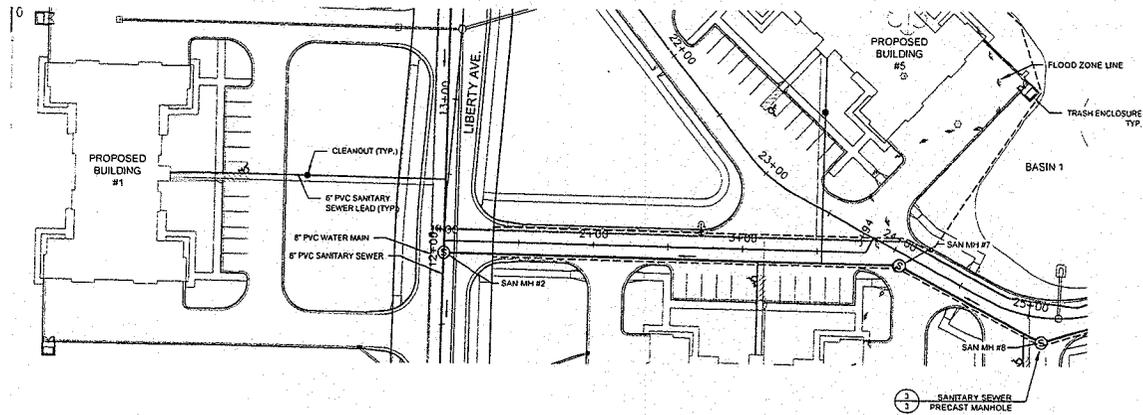
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INITIALS	DATE
DESIGNED DAV	08/18/16
DRAWN PSD	08/18/16
CHECKED TCL	08/18/16

0 40'
SCALE

PROJECT NO.
16-0003

SHEET NO.
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SOUTH DRIVE RT PROFILE
SCALE: H: 1"=40' V: 1"=4'

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INCORPORATED

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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
SOUTH DRIVE SANITARY PLAN & PROFILE
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

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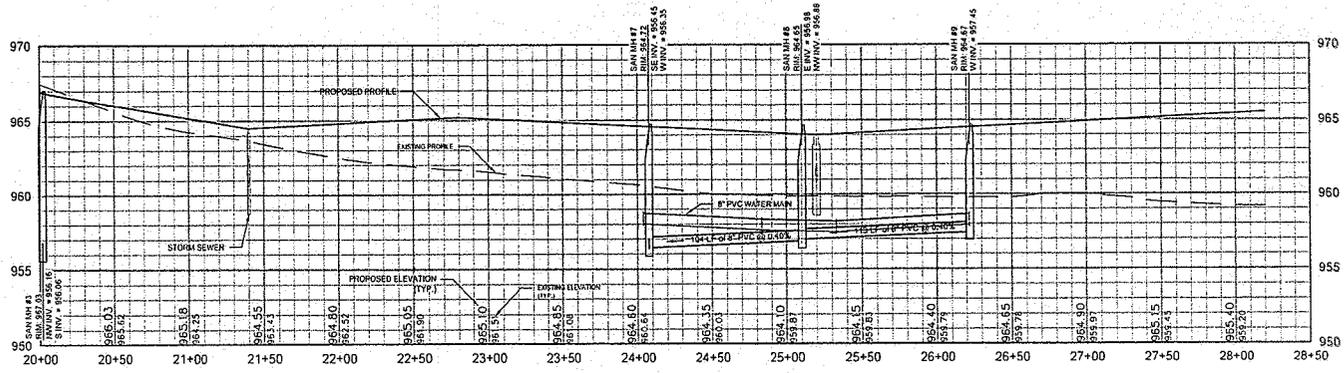
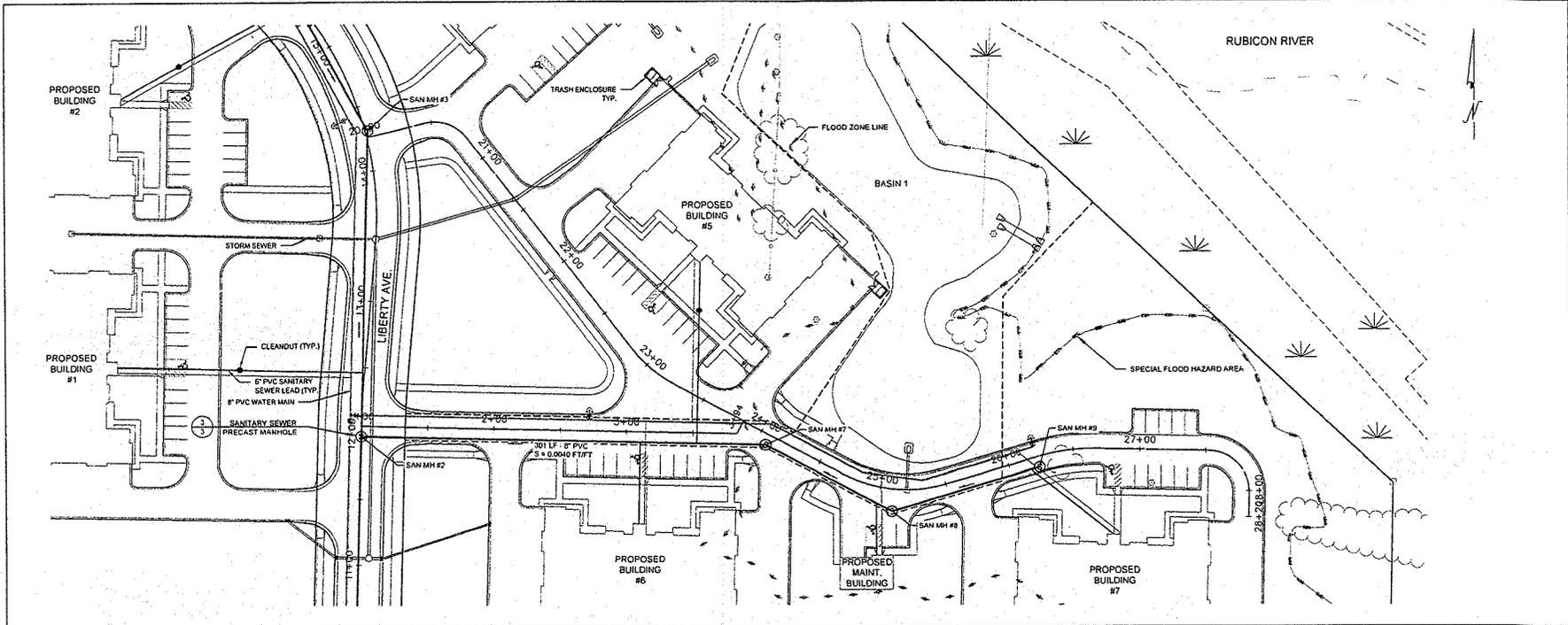
DRAWN PSD 06/12/16

CHECKED TCL 05/12/16

0 40'
SCALE

PROJECT NO.
16-0003

SHEET NO.
7 OF 17



NORTH DRIVE RT PROFILE
SCALE: H: 1"=40' V: 1"=4'

LYNCH & ASSOCIATES

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NEW BERLIN, WI 53151
2623 400-5046

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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
NORTH DRIVE SANITARY PLAN & PROFILE
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

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INITIALS DATE

DESIGNED DNV 08/12/16

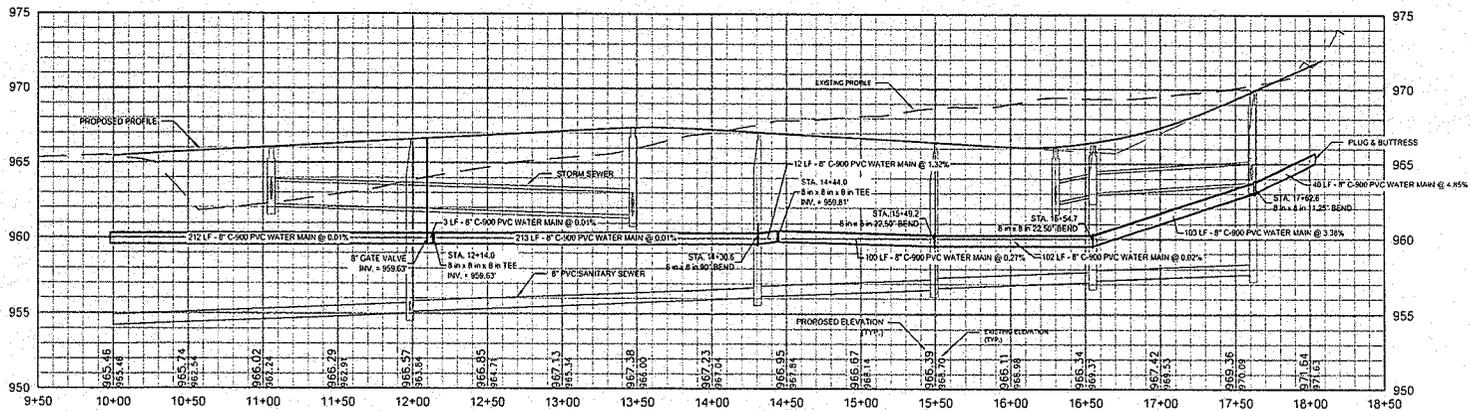
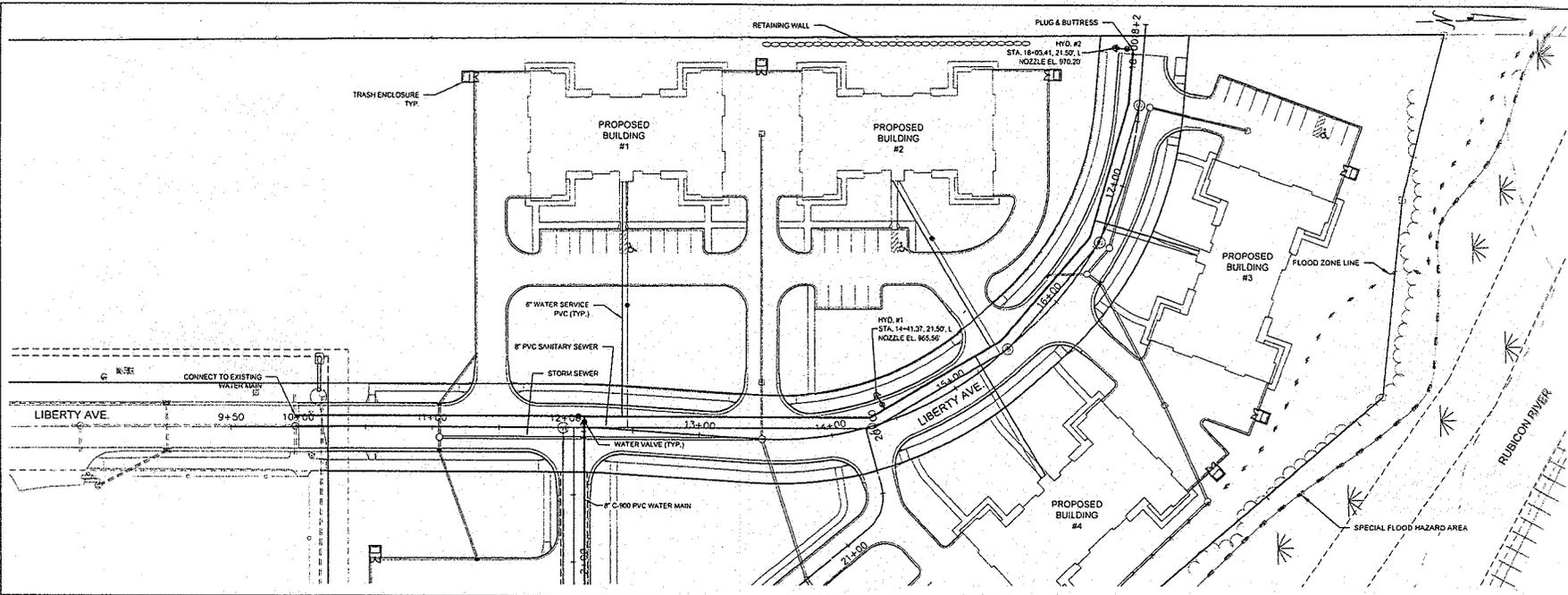
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CHECKED TCL 08/12/16

0 40'
SCALE

PROJECT NO.
16-0003

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LIBERTY AVE EXT PROFILE
SCALE: H: 1"=40' V: 1"=4'

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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
LIBERTY AVE. EXTENSION WATER MAIN PLAN & PROFILE

CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

PRELIMINARY

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DRAWN PSD 08/18/16
CHECKED TCL 08/18/16

SCALE: 40'
PROJECT NO. 16-0003
SHEET NO. 9 OF 17



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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
SOUTH DRIVE WATER MAIN PLAN & PROFILE

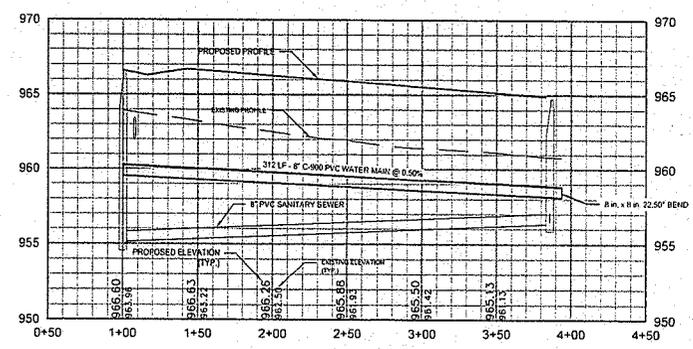
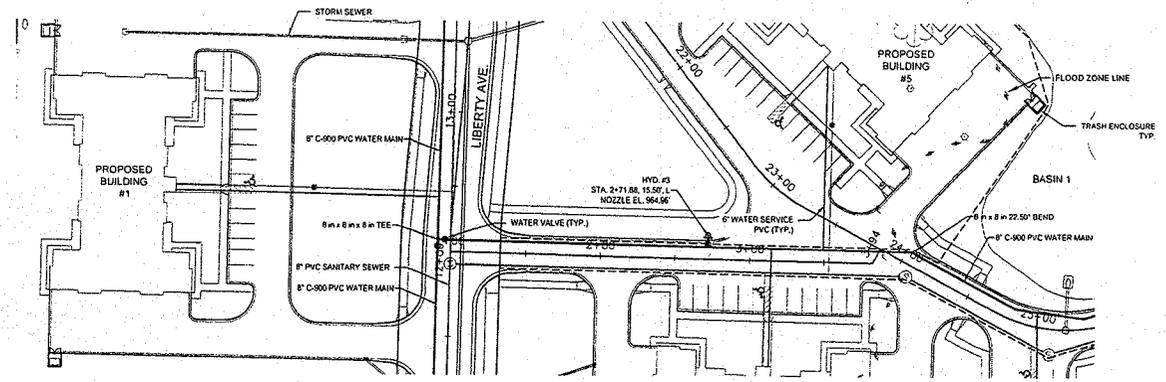
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INITIALS	DATE
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CHECKED TCL	08/18/16

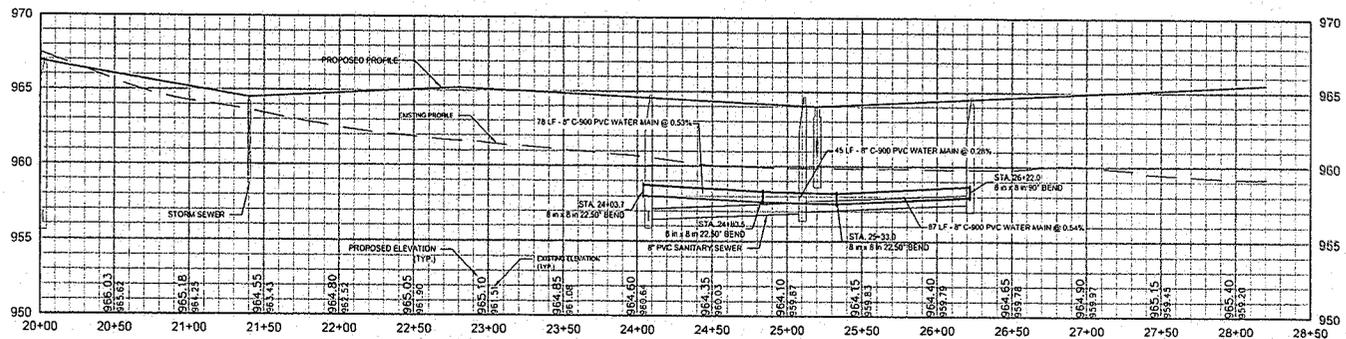
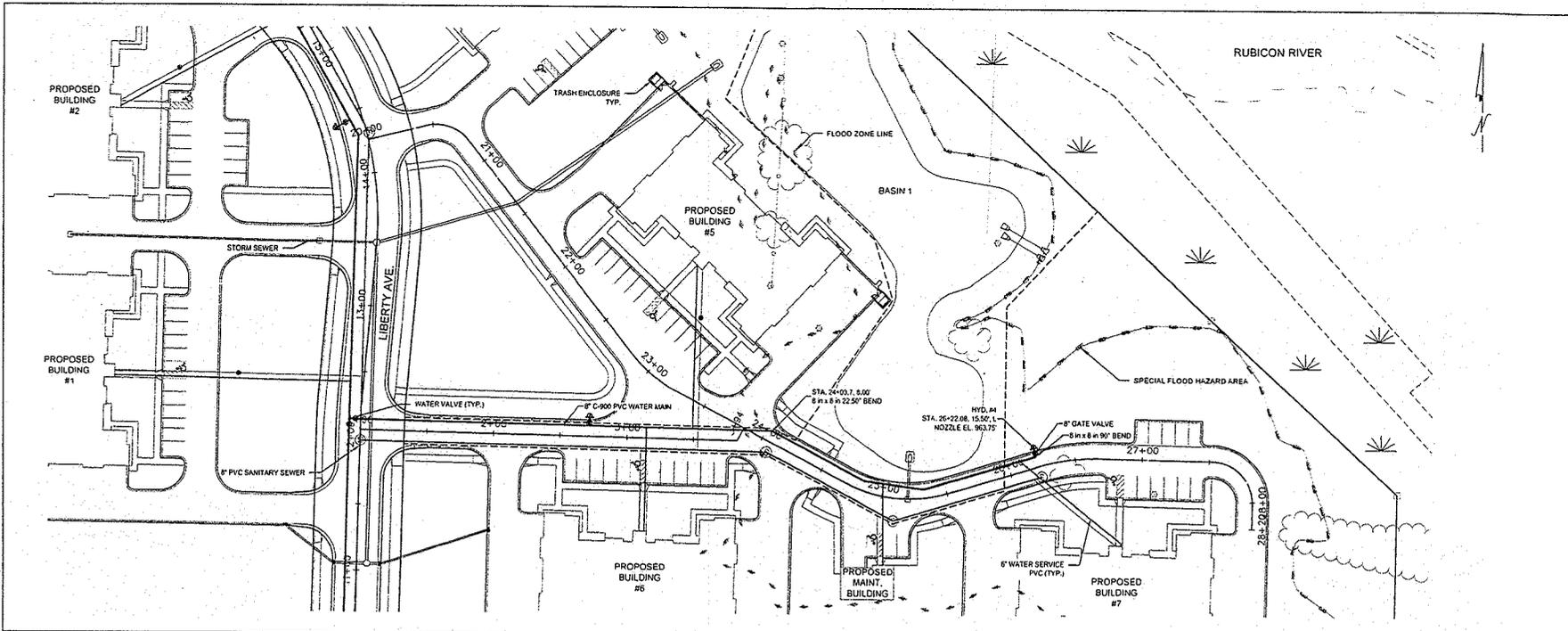
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SCALE

PROJECT NO.
16-0003

SHEET NO.
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SOUTH DRIVE RT PROFILE
SCALE: H: 1"=40' V: 1"=4'



NORTH DRIVE RT PROFILE

SCALE: H: 1"=40' V: 1"=4'



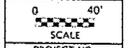
5482 S. WESTRIDGE DRIVE
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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
NORTH DRIVE WATER MAIN PLAN & PROFILE
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

PRELIMINARY

INITIALS DATE
DESIGNED DKV 08/18/16
DRAWN PSD 08/18/16
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11 of 17

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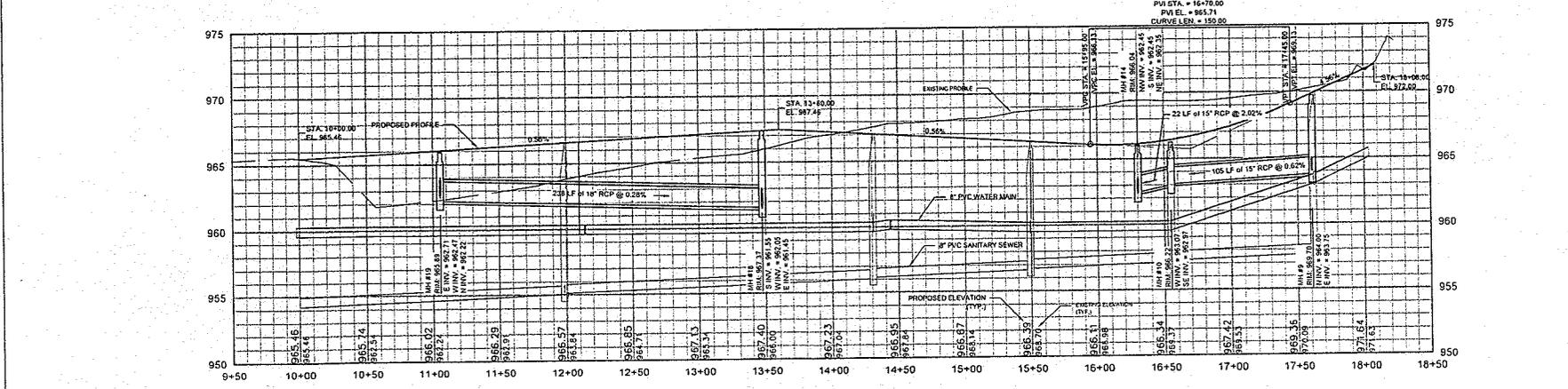
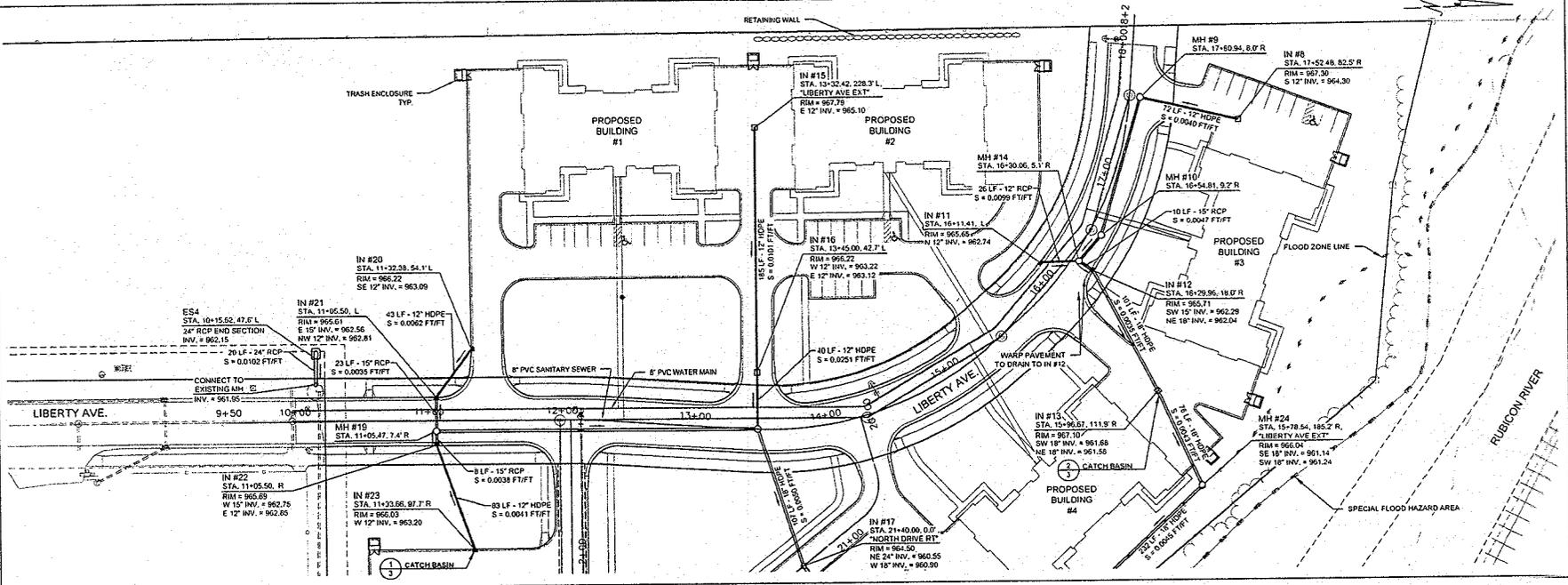
SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
LIBERTY AVE. EXTENSION PLAN & PROFILE
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

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PROJECT NO.
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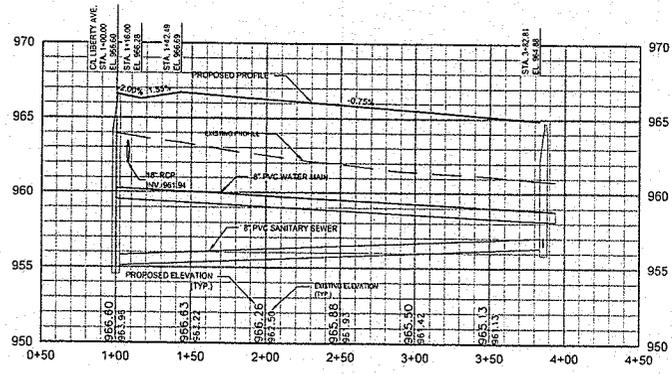
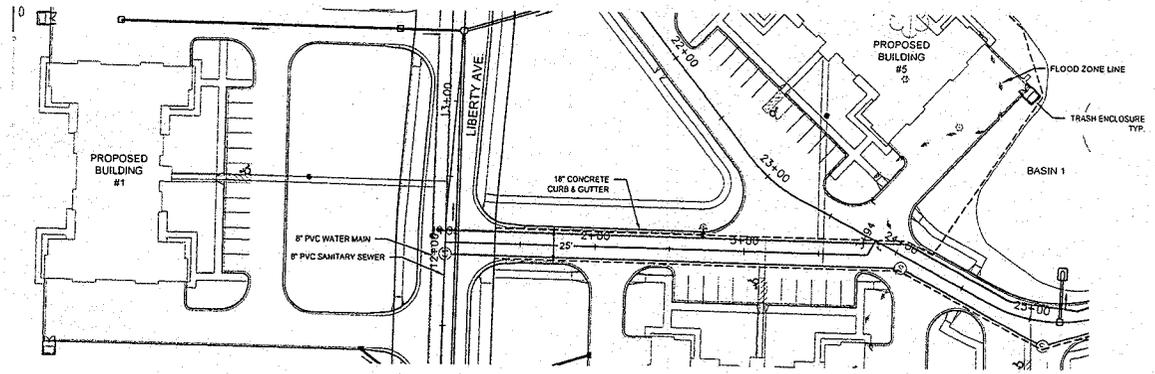
LIBERTY AVE EXT PROFILE
SCALE: H: 1"=40' V: 1"=4'

18



5482 S. WESTRIDGE DRIVE
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72621 402-5040

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SOUTH DRIVE RT PROFILE
SCALE: H: 1"=40' V: 1"=4'

SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
SOUTH DRIVE PLAN & PROFILE
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

PRELIMINARY
INITIALS DATE
DESIGNED DKV 08/18/16
DRAWN PSD 08/18/16
CHECKED TCL 08/18/16

0 40'
SCALE
PROJECT NO.
16-0003
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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
NORTH DRIVE PLAN & PROFILE
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

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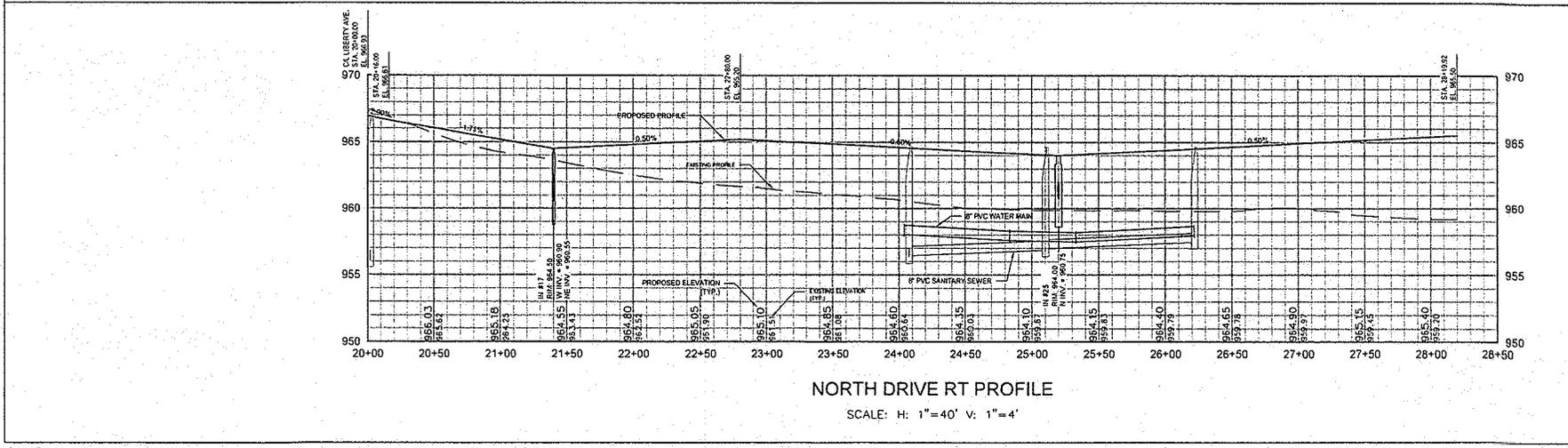
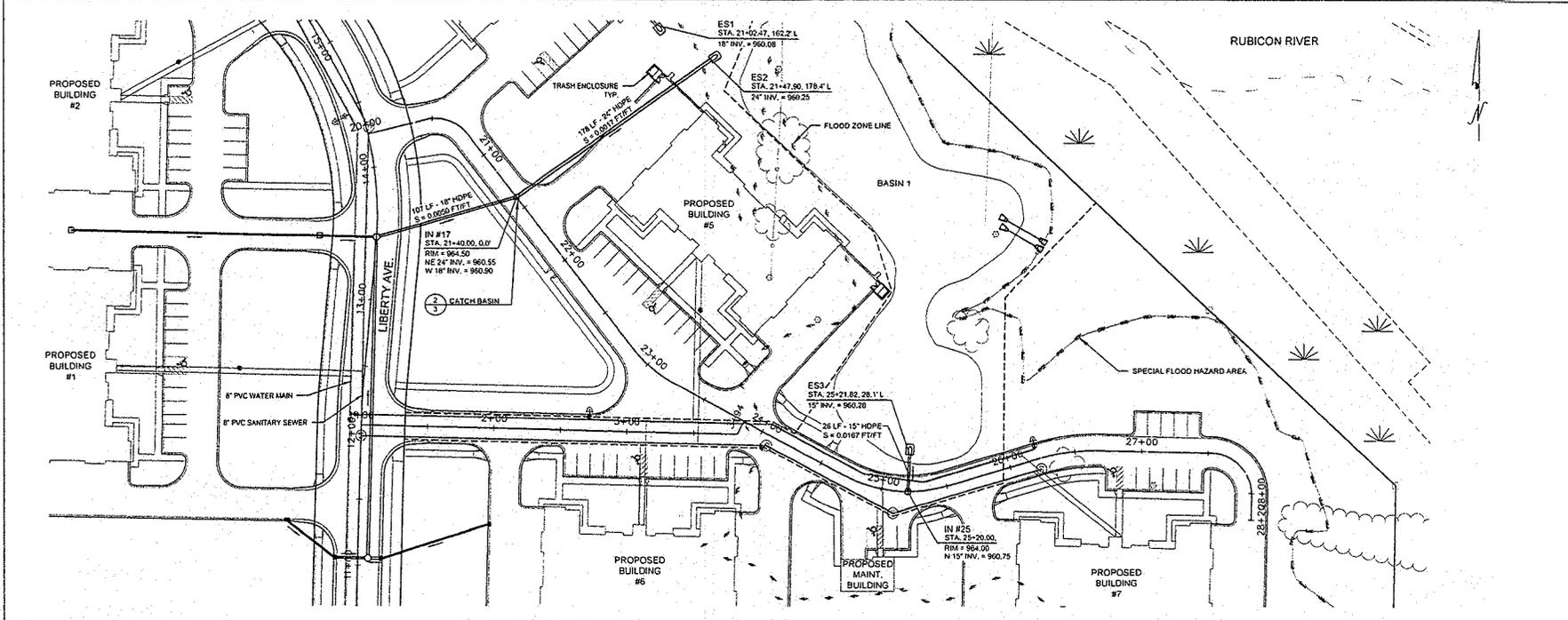
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DESIGNED: DRW 08/18/16
DRAWN: PSD 08/18/16
CHECKED: TCL 08/18/16

0 40'
SCALE

PROJECT NO.
16-0003

SHEET NO.
14 OF 17





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SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
GRADING PLAN

CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

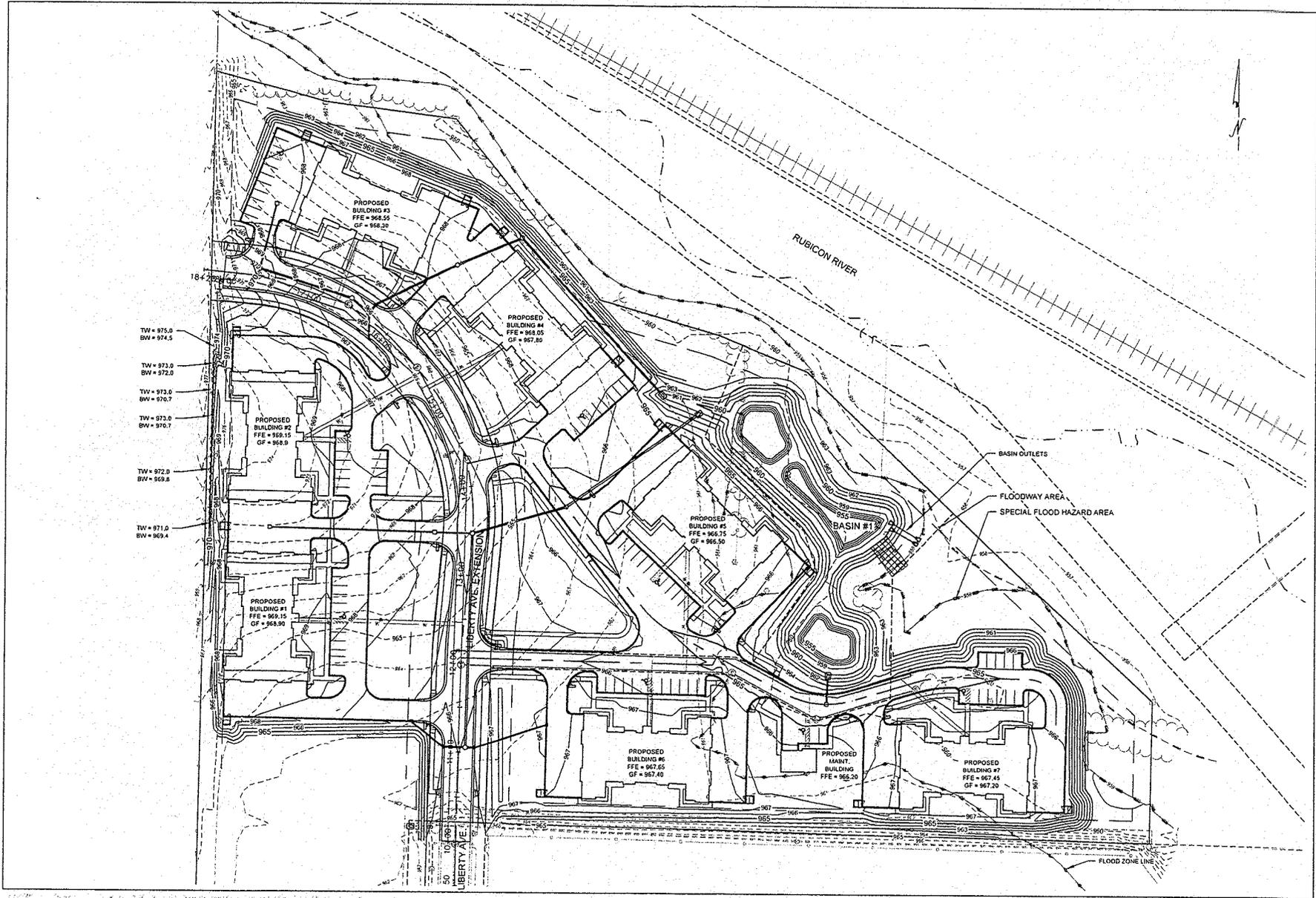
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INITIALS	DATE
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DRAWN PSD	05/18/16
CHECKED TCL	05/18/16

0 50'
SCALE

PROJECT NO.
16-003

SHEET NO.
15 of 17





LYNCH & ASSOCIATES

5482 S. WESTRIDGE DRIVE
NEW BERLIN, WI 53151
(262) 402-5040

DATE	
BY	
REVISIONS	
NO.	

SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
STORM WATER POND DETAILS
 CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

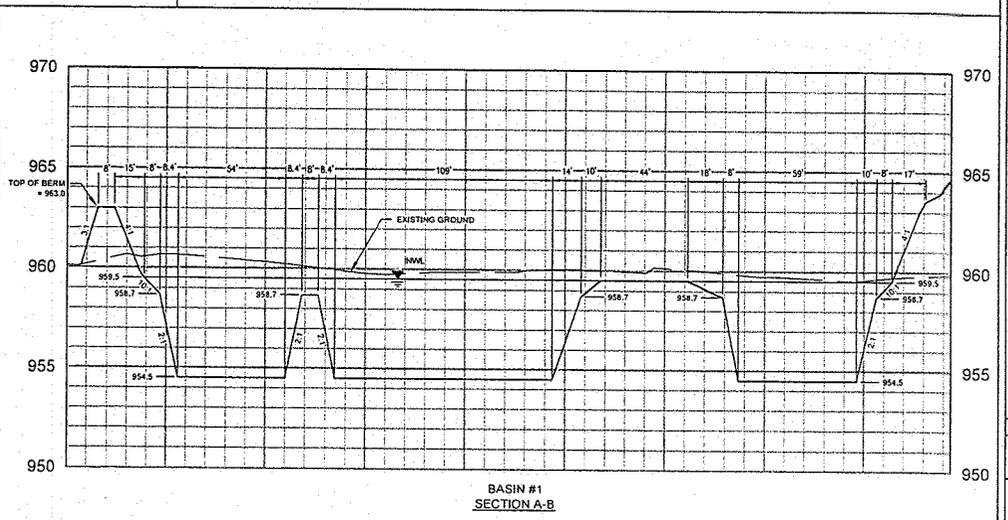
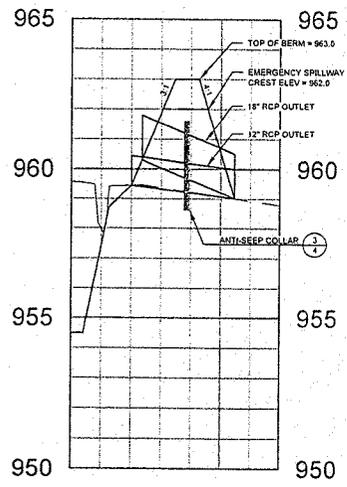
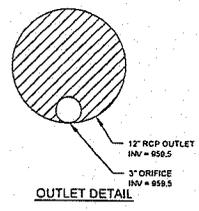
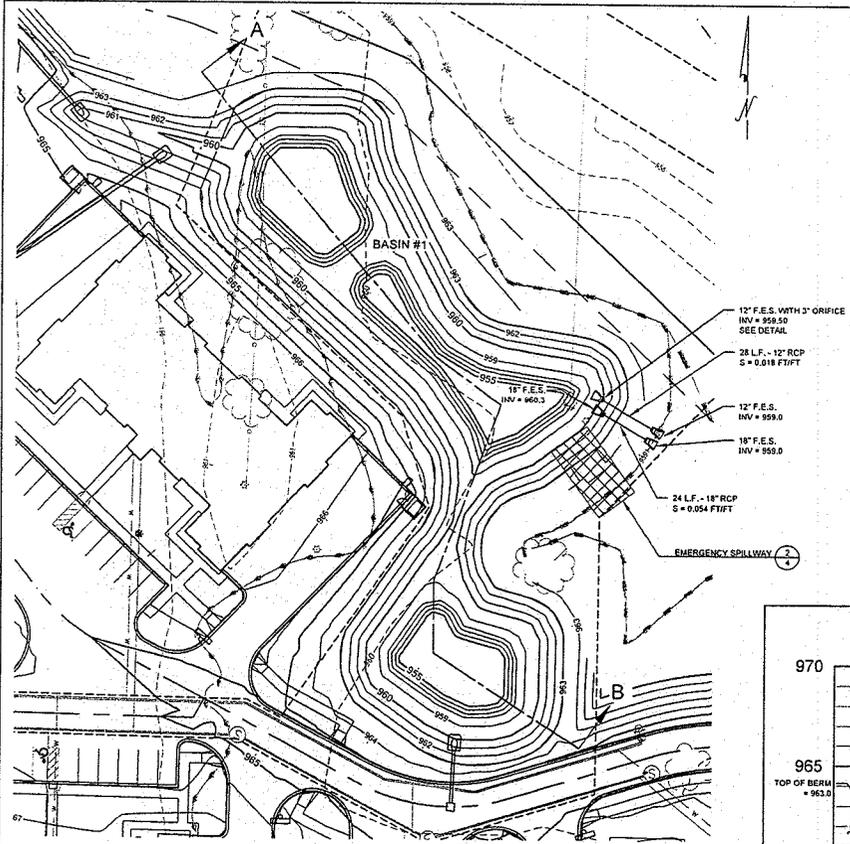
PRELIMINARY

INITIALS	DATE
DESIGNED DRW	08/18/16
DRAWN PSD	08/18/16
CHECKED TCL	08/18/16

0 50'
SCALE

PROJECT NO.
16-0003

SHEET NO.
16 OF 17





LYNCH & ASSOCIATES

5482 S. WESTRIDGE DRIVE
NEW BERLIN, WI 53151
(262) 402-5040

NO. _____
REVISIONS _____
BY _____
DATE _____

SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
EROSION CONTROL PLAN
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

PRELIMINARY

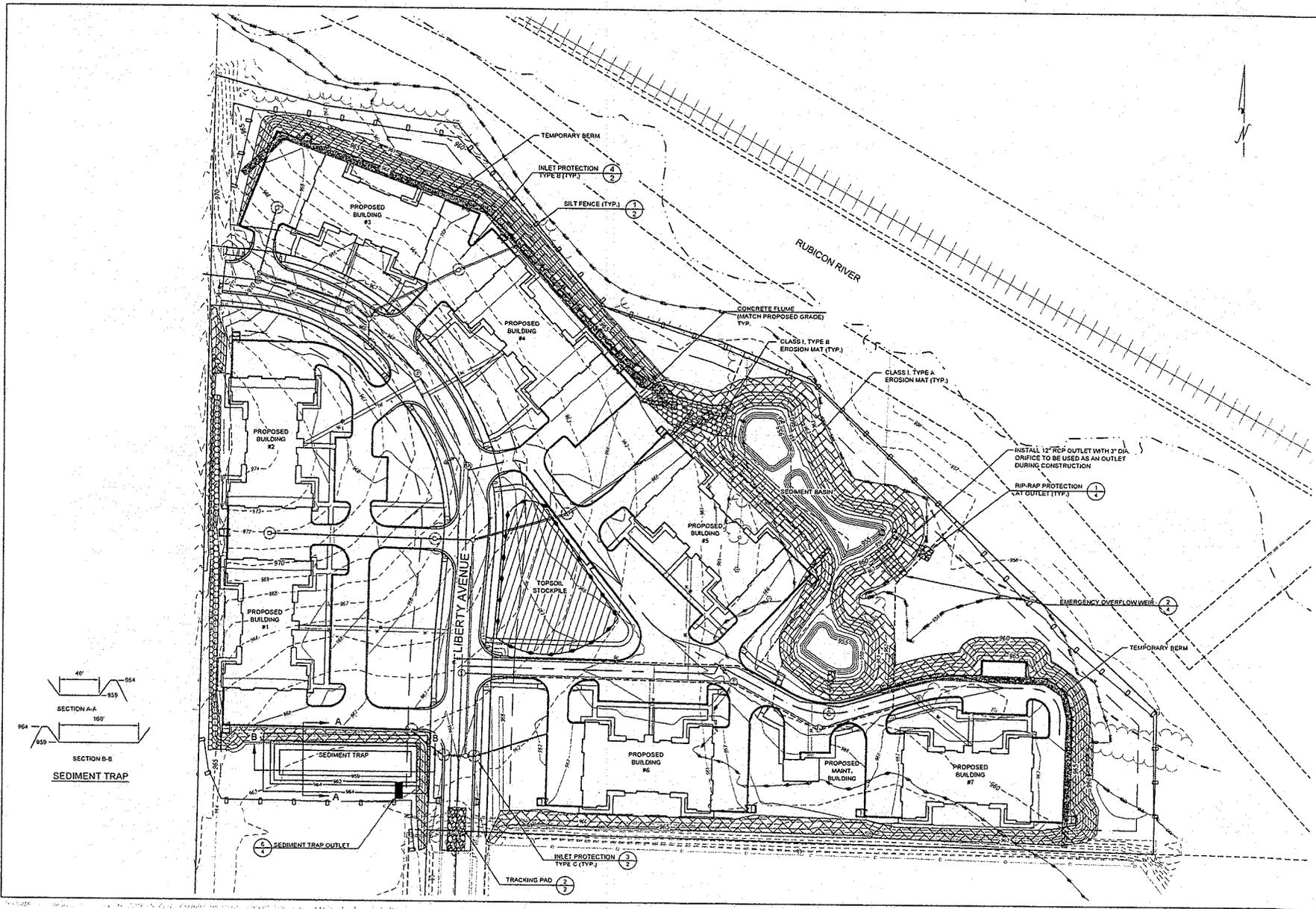
INITIALS DATE
DESIGNED DEV 08/18/16
DRAWN PSD 08/18/16
CHECKED TCL 08/18/16

0 50'
SCALE

PROJECT NO.
16-0003
SHEET NO.

17 of 17

65





5482 S. WESTRIDGE DRIVE
NEW BERLIN, WI 53151
(262) 402-5040

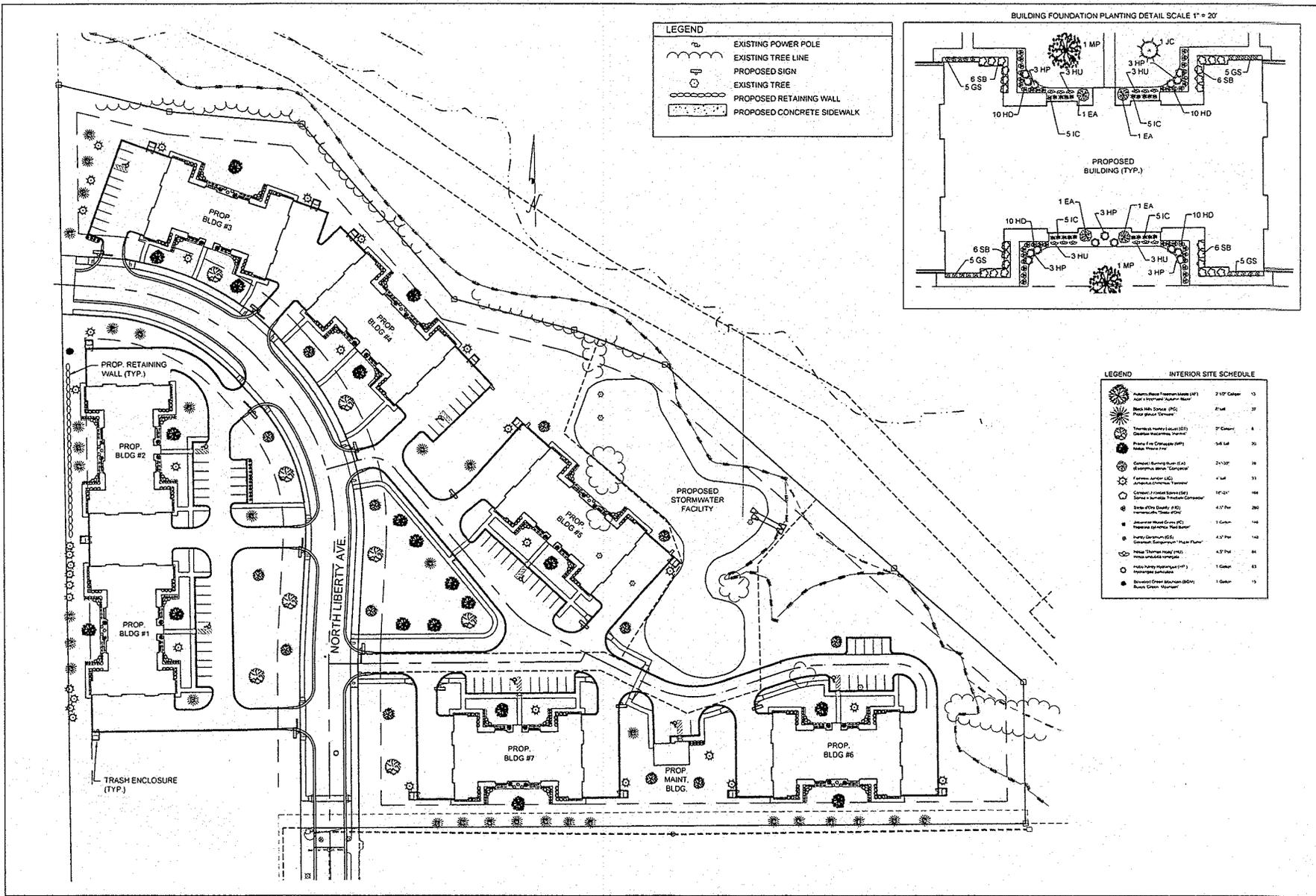
BY: DATE: REVISIONS: NO.:

SITE IMPROVEMENT PLANS
HARTFORD BIRCH CROSSING
LANDSCAPE PLAN
CITY OF HARTFORD, WASHINGTON COUNTY, WISCONSIN

INITIALS DATE
DESIGNED JAB 08/18/16
DRAWN JAB 08/18/16
CHECKED TCL 08/18/16

0 50'
SCALE
PROJECT NO.
16-0003
SHEET NO.

1 OF 1



LEGEND

- EXISTING POWER POLE
- EXISTING TREE LINE
- PROPOSED SIGN
- EXISTING TREE
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE SIDEWALK

BUILDING FOUNDATION PLANTING DETAIL SCALE 1" = 20'

PROPOSED BUILDING (TYP.)

LEGEND INTERIOR SITE SCHEDULE

	Autumn-Rose™ Transplant Maple (AT)	2 1/2" Caliper	15
	Ash (A)	2" Caliper	25
	Black Hills Spruce (HS)	2" Caliper	1
	Flowering Dogwood (FD)	2" Caliper	1
	Japanese Spindle Tree (JS)	2" Caliper	1
	Red Maple (RM)	2" Caliper	1
	White Birch (WB)	2" Caliper	1
	Yellow Birch (YB)	2" Caliper	1
	Green Ash (GA)	2" Caliper	1
	Norway Spruce (NS)	2" Caliper	1
	Eastern White Pine (EWP)	2" Caliper	1
	White Pine (WP)	2" Caliper	1
	Norway Spruce (NS)	2" Caliper	1
	Eastern White Pine (EWP)	2" Caliper	1
	White Pine (WP)	2" Caliper	1
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	White Pine (WP)	2" Caliper	1